Loudon County Commission Workshop

Loudon, Tennessee

March 20, 2023

Courthouse Annex

6:00 pm

AGENDA

1) Comments by Members of the General Public

2) Mayor – Buddy Bradshaw
   A. Proclamation – Kenny Ridings
   B. Proclamation – Tennessee Donor Services / April National Donate Life Month
   C. Commissioner – Van Shaver

3) Loudon County Economic Development Executive Director – Jack Qualls
   A. Purchase industrial property

4) Loudon County Procurement Director – Matt Kleinschmidt
   A. Large format printer lease renewal for Register of Deeds (24 Months at $ 209 month)
   B. Courthouse Phase 2 renovation plans and alterations not covered by fire/codes repairs. Total cost of alternates $ 149,483

5) Commissioner – Chase Randolph
   A. Appointment for Loudon County Solid Waste Member

6) Commissioner – Rosemary Quillen
   A. 2nd District ARPA Funds Presentation

7) Commissioner – Van Shaver
   A. Consideration of a vote to confirm that Tracy Blair, did in fact, fulfill her duty

8) Director of Accounts and Budgets – Tracy Blair / Interim Budget Director - Erin Rice
   A. Budget Recommendations

Loudon County Commission

March 20, 2023

Proclamation

Kenny Ridings

Proclamation

Whereas Loudon County has a rich history of citizens deserving of recognition for service to their communities; and

Whereas Loudon Police Department Officer Kenny Ridings is one such of those individuals; and

Whereas Kenny is a lifelong resident of Loudon and Loudon County, born to Frances and Ted "Snake" Ridings; and

Whereas Kenny is a 1984 graduate of Loudon High School; and

Whereas Kenny has been married to his wife Kathy for soon to be 18 years and they have their daughter Kensley; and

Whereas Kenny is retiring from Loudon Police Department after 37 years of service; and

Whereas Kenny is a 2nd generation LPD Officer and has served as School Resource Officer, Field Training Officer, and a member of 9th Judicial District S.W.A.T. team; and

Whereas Kenny has also served on the Loudon County School Board, District 1, Seat B since 2012; and

Whereas Kenny will be missed by his fellow officers and the community he has served; that

Now, therefore, on this 10th day of March in the year of our Lord 2023 that Loudon County Mayor Buddy Bradshaw, does recognize the service and dedication of Officer Kenny Ridings to the citizens, guests, and visitors of Loudon County and wish to recognize and honor him, do declare this day to be Officer Kenny Ridings Day in Loudon County, and this proclamation to be forever recorded in the annals of our history.

_____

Loudon County Mayor
Buddy Bradshaw

Loudon County Commission

March 20, 2023

Proclamation

Tennessee Donor Services / April National Donate Life Month

#bethegift

Tennessee DONOR SERVICES

DONATE LIFE Tennessee

SUPPORTING ORGAN, EYE, AND TISSUE DONATION BY WAY OF PROCLAIMING APRIL AS NATIONAL DONATE LIFE MONTH

By becoming an organ, eye, and tissue donor, one individual can save and heal the lives of more than seventy-five people. During April, designated National Donate Life Month, and throughout the year, we honor the compassion and generosity of registered donors, donor families, and living donors, and recognize the commitment of medical professionals, researchers, innovators, champions, and national partners who work tirelessly to save and improve lives through donation and transplantation.

PROCLAMATION

WHEREAS, Tennessee Donor Services (TDS) is a Donate Life agency and nonprofit organization dedicated to saving and improving lives through organ, eye, and tissue donation throughout Tennessee, and is one of 57 Organ Procurement Organizations (OPOs) throughout the nation; and

WHEREAS, each organ donor HERO can give the gift of life to eight people and each tissue donor can improve another 75 lives; and

WHEREAS, more than 100,000 American men, women, and children--3,000 of whom are Tennesseans--are waiting for lifesaving organ transplants; and

WHEREAS, the most effective way to address this health crisis is to educate and to encourage Tennesseans to commit to registering their decision to be organ, eye, and tissue donors in the Donate Life Tennessee Registry, DonateLifeTN.org, or at their local Driver Services Center; and

WHEREAS, _____ supports saving lives through organ, eye, and tissue donation and finds the cause of such immediate and worthwhile importance that,

NOW, THEREFORE, I, _____ with and on behalf of _____ do Proclaim that _____ observes:

APRIL AS NATIONAL DONATE LIFE MONTH

And in observance, I ask all citizens to register their decision to be donors in the Donate Life Tennessee Registry at DonateLifeTN.org or their local Driver Services Center.

Adopted by the _____ this XX day of XXX 2023.

_____

Loudon County Commission

March 20, 2023

Loudon County Purchasing

Large format printer lease renewal for Register of Deeds

(24 months at $ 209 month)

RJ Young Company - Nashville
P.O. Box 40623 Nashville, TN 37204

(615)255-8551
(800)347-1955

Order # HNXX00

Cost Per Copy Agreement

Customer Purchase Order

Sales Rep # CHSA41

Billing Location	*Install Location*
Full Customer Name – Include Inc., Corp., LLC etc. Loudon County Government	Customer Name Loudon County Government
	Department: Register of Deeds County: Loudon
Street Address 100 River Road, Suite 110	Street Address 101 Mulberry St # 202
City: Loudon State: TN Zip+4: 37774	City: Loudon State: TN Zip+4: 37774
Contact Name: Susan Huskey, CPPB Phone #: 865-458-4663, X 101 Fax #: 865-458-4871	Meter Contact: Tammy Gallaher Phone #: (865) 458-2605 Fax #: (865) 458-9028
Email	Email tammy@titlesearcher.com

Qty.	Manufacturer	Equip. ID	Model	Serial Number	Unit Price	Amount
1	Canon	AAA59631	imagePROGRAF TM-305 MFP T36 <2>	BAKS03238		
Trade-In/Buyout (Items to be picked up)					Total This Page	
					Total From Add'l Equipment List	
					Sales Tax	
				Tax Exempt ☐ Yes ■ No Attach Exemption Certificate	Total	

1) The equipment specified above will be provided at the following rates:

Commencement Date	Term	Security Deposit	Total Minimum Payment	Minimum Billing Frequency	Overage Billing Frequency
	24		$209.00	Monthly	Monthly

Monthly Minimum Number of B&W Copies	Overage Rate per B&W Copy	Monthly Minimum Number of Color Copies	Overage Rate per Color Copy
Monthly Minimum Number of Square Feet	Overage Rate per Square Foot	Monthly Minimum Number of Linear Feet	Overage Rate per Linear Foot
Monthly Minimum Number of B&W Prints	Overage Rate per B&W Print	Monthly Minimum Number of Color Prints	Overage Rate per Color Print
Monthly Minimum Number of Misc	Overage Rate per Misc	Monthly Minimum Number of Misc 2	Overage Rate per Misc 2

Agreement Includes

■ Yes	☐ No	Master Unit
■ Yes	☐ No	Color Supplies
■ Yes	☐ No	Drum/Photo Conductor
■ Yes	☐ No	Imaging Units
■ Yes	☐ No	Parts/Labor
■ Yes	☐ No	Toner/Dispersant
■ Yes	☐ No	Developer
■ Yes	☐ No	Other See Comments

☐ New Account ☐ New Equipment
☐ Upgrade ☐ Remanufactured Equipment
☐ Additional Unit
■ MAM ■ Used

☐ Yes ■ No MICR Toner

Remarks:

Included SMP (Supply and Maintenance Plan) covers service calls, parts, labor, and supplies (ink, 24# bond paper, and print heads). The SMP includes zero monthly base volume. Billing is based on per square foot rate in three coverage categories: Line Drawings (.17 per S.F), Medium Density (.25 per S.F.), and High Density (.42 per S.F.) Rates are fixed for lease term and will not increase.

Additional terms and conditions on page 2.

Signature: _____

Print Name: _____

Title: _____ Date: _____

Sales Rep: _____ Date: _____

Sales Manager: _____ Date: _____

COST PER COPY AGREEMENT TERMS AND CONDITIONS

This is a non-cancelable agreement

Order # HNXX00

2. RENTAL AGREEMENT. You agree to rent the equipment described in this Cost per Copy agreement (collectively "Equipment"). This Agreement will begin on the commencement date listed in the Cost Per Copy Agreement (CPC). You agree to pay us any required Security Deposit when you sign this Agreement. Your CPC Payment consists of the Periodic Equipment Payment and the Periodic Supply Maintenance Payment. The Excess Charge Per Copy is the variable charge for maintenance services and supplies (as set forth in this Agreement) for copies in excess of Minimum Copy Requirement for the applicable period. Unless otherwise set forth in this Agreement, each CPC payment is due and payable monthly. The Minimum Monthly Payment is due whether or not you receive an invoice from us. Excess Charge Per Copy amounts are payable as invoiced by us following the end of each Billing Period. If in any period you make fewer copies than the Periodic Copy Requirement, you cannot carry over that amount to any other period. We have the right to increase, without written notice, the Periodic Supply Maintenance Payment and the Excess Charge per Copy on an annual basis. You will provide us with accurate meter readings for each item of Equipment when and by such means as we request. YOU AGREE THAT WE MAY ESTIMATE THE NUMBER OF COPIES PRODUCED IF A METER READING IS NOT RECEIVED BY US WITHIN 5 DAYS OF THE DATE WE SPECIFY. IF AN ACTUAL METER READING IS RECEIVED WITHIN 90 DAYS OF THE BILLING DATE FOR THE EXCESS COPIES, AN ADJUSTMENT WILL BE MADE. NOTHWITHSTANDING ANY ADJUSTMENT, YOU WILL NEVER PAYLESS THAN THE PERIODIC CPC PAYMENT. Single copy charges apply up to 8.5" x 14". For efficient and electronic meter reading, RJY utilizes specialized software that reports current meter readings on all print devices connected to your Network. Customer agrees that meters may be accessed and reported in this manner. Should the number of scans exceed the total of all prints and copies, we reserve the right to invoice these excess scans at $.0025 per scan. You will make all payments required under this Agreement to us at the address we may specify in writing. Unless a proper exemption certificate is provided applicable sales and use taxes will be added to the Payment. If any Payment is not paid when due, you will pay us a late charge of up to 15% of the amount of the payment or $15.00 whichever is greater (or such lesser rate as is the maximum rate allowed under applicable law). You also agree to pay $35.00 for each returned check. Restrictive endorsements or additional terms on checks you send to us will not reduce your obligations to us.

3. CONNECTION TO COMPUTERS/NETWORKS. RJY offers complimentary installation of manufacturer print drivers and software for any connectable equipment listed in this agreement. Installation is performed by support personnel. Customer agrees to provide access and information required to complete the requested installation. Customer will provide all necessary network cabling required for installation. If RJY performs the Installation/Connection, the customer agrees that RJY is responsible for only completing the installation and setup of the equipment listed in this agreement. The initial installation and any additional basic configurations are covered at no charge for the first 90 days under the condition that the customer has made no changes to their network during that period. Installations requiring extensive configuration will be quoted separately and performed upon request. After the initial 90 day period, any network connectivity support requested by the customer will be billed at RJY's then current charge rate for connectivity support. RJY will not be held liable for any errors, property damage, loss of time or profit, consequential or incidental damages of any kind arising as result of operating any software provided with the purchase of a manufacturer's product or downloaded from a manufacturer's website.

4. TITLE; RECORDING. We are the owner of and will hold title to the Equipment. You will keep the Equipment free of all liens and encumbrances.

5. USE. You shall use the Equipment in a careful and proper manner in conformance with manufacturer's specifications and all laws, ordinances and regulations in any way relating to the possession or use of the Equipment. Customer represents that these products are NOT acquired for personal, family, or household purposes.

6. INDEMNIFICATION. You are responsible for any loses, damages, penalties, claims, suits and actions (collectively "Claims"), whether based on a theory of strict liability or otherwise caused by or related to the installation, ownership, maintenance, use, rental, possession, or delivery of the Equipment. You agree to reimburse us for and, if we request, to defend us against any Claims.

7. ASSIGNMENT. You agree not to sell, assign, transfer or sublease the equipment or your interest in this Agreement. We may, without notifying you, sell, assign, or transfer this Agreement and our rights to the Equipment. The rights of the assignee will not be subject to any claim, defense or set-off that you may have against us.

8. LOSS OR DAMAGE. You are responsible for any loss, theft, destruction of, or damage to, the Equipment (collectively "Loss") from any cause at all, whether or not insured, until it is delivered to us at the end of this Agreement. You are required to make all CPC payments even if there is a Loss. You must notify us in writing immediately of any Loss. Then, at our option, you will either (a) repair the Equipment so that it is in good condition and working order, eligible for any manufacturer's certification, or (b) pay us the amount equal to the net present value of all unpaid CPC Payments for the remainder of the term plus the present value of our anticipated residual interest in the Equipment, each discounted at 5% per year, compounded annually, plus all other amounts due or that may become due under this Agreement. If you have satisfied your obligations under this Section 9, we will forward to you any insurance proceeds that we receive for lost, damaged, or destroyed Equipment. If you are in default, we will apply any insurance proceeds we receive to reduce your obligations under Section 16 of this Agreement.

9. TAXES AND FEES. You agree to show the Equipment as "Leased Property" on all personal property tax returns. You will pay when due, either directly or to us upon our demand, all taxes, fines and penalties relating to this Agreement or the Equipment that are now or in the future assessed or levied by any state, local or government authority.

10. EQUIPMENT LOCATION; RETURN. You will keep and use the Equipment only at the Equipment Location shown in this Agreement. You may not move the Equipment without our prior written consent. You will provide adequate space and electrical services for the operation of the Equipment. You will not make any alterations, additions or replacements to the Equipment without our prior written consent. All alterations, additions or replacements will become part of the Equipment and our property at no cost or expense to us. Upon the expiration or earlier termination of this Agreement, you will deliver the Equipment to us, in good condition, full working order and in complete repair, except ordinary wear and tear. We will pick up the Equipment provided that the Equipment is in our servicing territory. If the Equipment is outside our servicing territory, you will crate, insure, and ship the Equipment, in good working condition, to us by means we designate, with all expenses to be prepaid by you. You will be responsible for any damage to the Equipment during shipping.

11. RENEWAL. Unless you give us at least 30 days written notice before the end of the initial term or any renewal term of this Agreement, this Agreement will automatically renew for an additional one year renewal term. During such renewal term(s) the CPC Payment will remain the same (subject to the annual adjustment provided in Section 2 above). We may cancel an automatic renewal term by sending you written notice 10 days prior to such renewal term.

12. YOUR REPRESENTATIONS. You state for our benefit that as of the date of this Agreement; (a) you have the lawful power and authority to enter into this Agreement; (b) the individuals signing this Agreement have been duly authorized to do so on your behalf; (c) by entering into this Agreement you will not violate any law or other agreement to which you are a party; (d) you are not aware of anything that will have a material negative effect on your ability to satisfy your obligations under this Agreement; and (e) all financial information you have provided us is true and accurate and provides a good representation of your current financial condition.

13. YOUR PROMISES. In addition to the other provisions of this Agreement, you agree that during the term of this Agreement (a) you will promptly notify us in writing if you move your principal place of business, if you change the name of your business, or if there is a change in your ownership; (b) you will provide to us such financial information as we may reasonably request from time to time; and (c) you will take any action we reasonably request to protect our rights in the Equipment and to meet your obligation under this Agreement.

14. DEFAULT. You will be in default under this Agreement if any of the following events occur: (a) you fail to make any CPC payment or other sum when due; (b) you fail to comply with any other term or condition of this Agreement or any other agreement between us, or fail to perform any obligation imposed upon you relating to this Agreement or any such other agreement; (c) you become insolvent, you dissolve or are dissolved, you assign your assets for the benefit of your creditors, you sell, transfer or otherwise dispose of all or substantially all of your assets, or you enter (voluntarily or involuntarily) into any bankruptcy or reorganization proceeding; (d) without our prior written consent, you merge or consolidate with any other entity and you are not the survivor of such merger of consolidation; (e) any guarantor of this Agreement dies, does not perform its obligations under the guaranty, or becomes subject to one of the events listed in clause (c) above.

15. REMEDIES. In the event you default under this Agreement, as defined above, we will have the right to take ONE OR MORE of the following actions, in addition to any and all other remedies that may be available to us under law:(a) cancel this Agreement without prior notice or warning to you; (b) file a law suit against you to collect all past due amounts AND ALL AMOUNTS THAT WILL BECOME DUE IN THE FUTURE DURING THE UNEXPIRED TERM, plus the "residual value" of the Equipment as determined by us in our sole but reasonable judgment, plus all other fees, charges or amount that are then due, plus all of our reasonable legal costs, including but not limited to reasonable attorneys' fees, reasonable overhead for employee time spent on preparing for suit or attempting to collect payments and mitigate our damages; (c) repossess the Equipment or apply to a court for an order allowing repossession. In this event, you agree that, after the Equipment is repossessed, you will have no further rights in the Equipment, and you agree we may resell, re-lease or otherwise remarket the Equipment without notice to you. You agree (and you waive any rights that may provide to the contrary) that we will NOT be required to repossess, resell, re-lease or otherwise remarket the Equipment at any time, and that our failure to do so will not affect our other rights of collection and other rights under this Agreement or under law.

16. NOTICES. All of your written notices to us must be sent by certified mail or recognized overnight delivery service, postage prepaid, to us at our address stated in this Agreement. All of our notices to you may be sent first class mail, postage prepaid, to your address stated in this Agreement. At any time after this Agreement is signed, you or we may change an address by giving notice to the other of the change.

17. MISCELLANEOUS. This Agreement contains our entire agreement and supersedes any conflicting provision of any equipment purchase order or any other agreement. Once this agreement is signed by you, the agreement constitutes an OFFER to you, and will not be binding until ACCEPTED by us, as evidenced by the signature of the Corporate Office. Any change in the terms and conditions of this Agreement must be in writing and signed by one of our Officers. You agree, however, that we are authorized, without notice to you, to supply missing information or correct obvious errors in this Agreement. If a court finds any provision of this Agreement to be unenforceable, the remaining terms of the Agreement shall remain in effect.

18. JURISDICTION. You and any Guarantor agree that this Agreement will be deemed fully executed and performed in the State of Tennessee and will be governed by Tennessee law. YOU AND ANY GUARANTOR EXPRESSLY AGREE TO: (A) BE SUBJECT TO THE PERSONAL JURISDICTION OF THE STATE OF TENNESSEE; (B) ACCEPT VENUE IN ANY FEDERAL OR STATE COURT IN TENNESSEE; AND (C) WAIVE ANY RIGHT TO A TRIAL BY JURY.

19. INTERPRETATION. As a convenience to you and to further expedite this transaction for you, you agree that a photocopy, electronic image or facsimile of this Agreement which includes a photocopy, electronic image or facsimile of the signatures of both parties shall be as valid, authentic and legally binding as the original version for all purposes and shall be admissible in court as final and conclusive evidence of this transaction and of the execution of this document.

20. Customer will be enrolled in the RJ Young online customer portal (ePASS). This online portal allows authorized users designated by customer to order supplies, place service calls, pay invoices, view bills and view account information online.

Loudon County Commission

March 20, 2023

Loudon County Purchasing

Courthouse Phase 2 renovation plans and alterations not covered by fire/codes repairs

Total cost of alternates $ 149,483

LOUDON COUNTY COURTHOUSE

Renovation Phase 2
Interior & Site Renovation

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SAFETY PLANS
NO DETAILS

& Civil

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LAYOUT, GRADING & DRAINAGE PLAN
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Structural

SR-12	FIRST LEVEL FRAMING PLAN
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Mechanical

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M1.1	HVAC PLAN - FIRST LEVEL & BASEMENT
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P2.2	SECOND LEVEL & ROOF DOMESTIC WATER PLAN

Fire Protection

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FP0.2	FIRE PROTECTION DETAILS
FP1.1	FIRST LEVEL & BASEMENT FIRE PROTECTION PLAN
FP1.2	SECOND LEVEL & ATTIC FIRE PROTECTION PLAN

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E0.1	RISER DIAGRAM & PANELBOARDS
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E1.1	SECOND LEVEL LIGHTING PLAN
E2.0	BASEMENT & FIRST LEVEL POWER PLAN
E2.1	SECOND LEVEL POWER PLAN
E3.0	BASEMENT & FIRST LEVEL COMMUNICATION & FIRE ALARM PLAN
E3.1	SECOND LEVEL COMMUNICATION & FIRE ALARM PLAN

Project Data

Owner

COUNTY OF LOUDON
100 RIVER ROAD, SUITE 110
LOUDON, TN 37774

Project Address

LOUDON COUNTY COURTHOUSE
601 GROVE STREET
LOUDON, TN 37774

Codes and Standards

LOUDON COUNTY COURTHOUSE IS A HISTORIC BUILDING PER IBC 202, LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. IN ORDER TO PRESERVE HISTORIC CHARACTER-DEFINING FEATURES, THIS PROJECT INCLUDES ALTERNATIVES TO FULL, LITERAL CODE COMPLIANCE AS ALLOWED BY IBC 3409 AND IEBC.

REFER TO SPECIFICATIONS SECTION 01 10 00 SUMMARY OF WORK FOR MORE INFORMATION ON SCOPE OF WORK. REFER TO "RENOVATION PHASE 1" CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION ON RENOVATION OF EXTERIOR SHELL AND OTHER STRUCTURAL REPAIRS.

THE FOLLOWING CODES WERE USED IN THE PREPARATION OF DRAWINGS & SPECIFICATIONS:

2012	INTERNATIONAL BUILDING CODE
2012	INTERNATIONAL MECHANICAL CODE
2012	INTERNATIONAL PLUMBING CODE
2012	INTERNATIONAL GAS CODE
2012	INTERNATIONAL FIRE CODE
2012	INTERNATIONAL EXISTING BUILDING CODE
2017	NFPA 70, NATIONAL ELECTRICAL CODE
2009	ICC/ANSI A117.1 FOR RESTROOM FACILITES INDICATED AS ACCESSIBLE
2010	AMERICANS WITH DISABILITIES ACT ALTERNATIVE MINIMUM REQUIREMENTS FOR ALTERATIONS TO A QUALIFIED HISTORIC BUILDING OR FACILITY

Zoning

LOUDON CITY ZONING ORDINANCE
CURRENT ZONING: C-1 CENTRAL BUSINESS, WITH HISTORIC DISTRICT OVERLAY
PARCEL ID: 053 0418 0 00200 000 2019

SITE SURVEY: JOSEPH M. COLVIN, RLS - JMC PROFESSIONAL SURVEYING AND MAPPING
9080 BARBEE LANE, SUITE #103, KNOXVILLE, TN 37923
(865) 200-4366

Building Data - Construction and Occupancy

NONSEPARATED OCCUPANCIES PER IBC 508.3
A-3 - ASSEMBLY (COURTROOM)
B - BUSINESS (OFFICES)
S-1 - STORAGE (BASEMENT)
CONSTRUCTION TYPE PER IBC: APPROXIMATES TYPE II-B, SPRINKLERED
NUMBER OF STORIES: 2 & PARTIAL BASEMENT
MAXIMUM NUMBER OF STORIES PER IBC TABLE 503 (UNADJUSTED): A-3: 2 STORY, B: 3 STORY, S-1: 2 STORY
BUILDING HEIGHT PER IBC 202: 44'-6" TO AVERAGE GRADE PLANE
CUPOLA IS EXCLUDED FROM BUILDING HEIGHT AS A "ROOFTOP STRUCTURE" PER IBC 1509
ALLOWABLE HEIGHT PER IBC TABLE 503: 55 FT.
BUILDING AREA PER IBC 202:
BASEMENT (NOT INCL. 2,711 S.F. OF CRAWLSPACES): 2,093 S.F.
FIRST LEVEL: 4,831 S.F.
SECOND LEVEL: 4,849 S.F.
ALLOWABLE AREA PER FLOOR PER IBC TABLE 503 (UNADJUSTED): A-3: 9,500 S.F.; B: 19,000 S.F.; S-1: 17,500 S.F.
OCCUPANT LOAD PER IBC TABLE 1004.1.2 - SEE SHEET A0.1
REFER TO STRUCTURAL DRAWINGS FOR DESIGN LOAD INFORMATION.

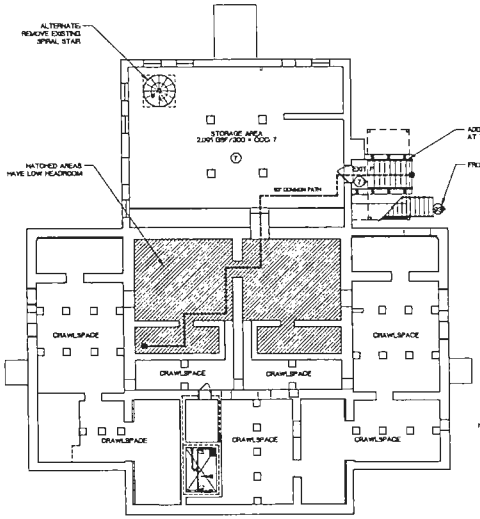
Abbreviations

A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
BD.	BOARD
BLDG.	BUILDING
B.O.	BOTTOM OF
BRG.	BEARING
C.J.	CONTROL JOINT
CLG.	CEILING
CLR.	CLEARANCE
CMU	CONCRETE MASONRY UNIT
CONC.	CONCRETE
DIA.	DIAMETER
DS	DOWNSPOUT
DWGS.	DRAWINGS
E.J.	EXPANSION JOINT
ELEC.	ELECTRICAL
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
F.E.C.	FIRE EXTINGUISHER CABINET
F.F.E.	FINISH FLOOR ELEVATION
F.R.T.	FIRE RETARDANT TREATED
GA.	GAUGE
GALV.	GALVANIZED
GYP.	GYPSUM
H.C.	HANDICAPPED (ACCESSIBLE)
HGT.	HEIGHT
H.M.	HOLLOW METAL
INSUL.	INSULATION
INT.	INTERIOR
LAM.	LAMINATE
L.W.R.G.	LOW WALL RETURN GRILLE
MFR.	MANUFACTURER
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
M.R.	MOISTURE RESISTANT
N.I.C.	NOT IN CONTRACT
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.H.	OPPOSITE HAND
P.L.	PLASTIC LAMINATE
P.T.	PRESSURE TREATED
REF.	FOR REFERENCE ONLY; VERIFY
R&S	ROD AND SHELF
SIM.	SIMILAR
SPEC.	SPECIFICATION
STRUCT.	STRUCTURAL
T.O.	TOP OF
TYP.	TYPICAL
U.L.	UNDERWRITERS LABORATORIES INC.
V.C.T.	VINYL COMPOSITION TILE
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD

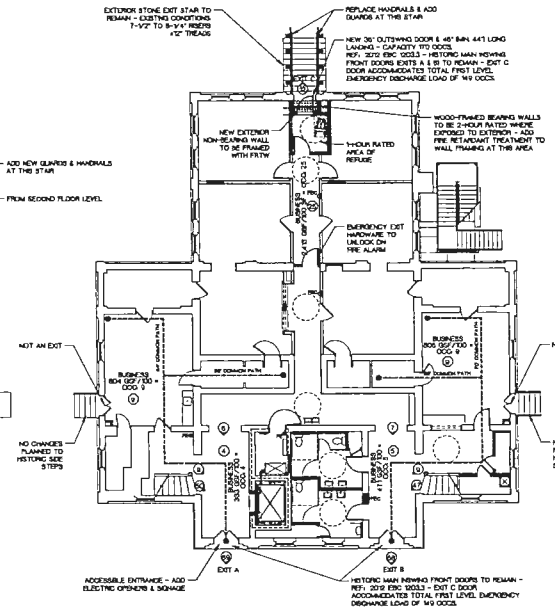
BENDER & ASSOCIAT

FACIL

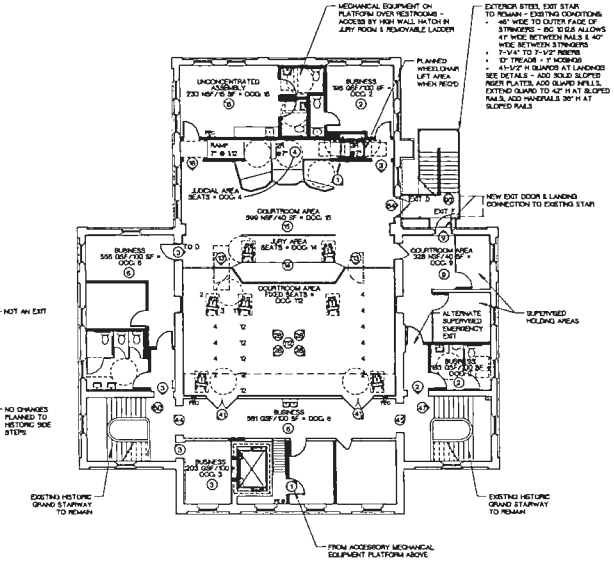
F



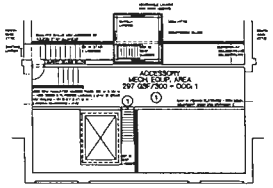
1 A0.1 BASEMENT PLAN
3/32" = 1'-0"
LIFE SAFETY PLAN
7 OCCUPANTS



2 A0.1 FIRST LEVEL PLAN
3/32" = 1'-0"
LIFE SAFETY PLAN
52 OCCUPANTS



3 A0.1 SECOND LEVEL PLAN
3/32" = 1'-0"
LIFE SAFETY PLAN
189 OCCUPANTS



4 A0.1 ROOF ACCESS PLAN
3/32" = 1'-0"
LIFE SAFETY PLAN
1 OCCUPANT

BREWER INGRAM FULLER Architects Inc.

Loudon County Courthouse

RENOVATION PHASE 2

NOTES

OCCUPANCY & EGRESS INFORMATION

TOTAL OCCUPANT LOAD	249
OCCUPANTS USING EXIT A	89
OCCUPANTS USING EXIT B	58
OCCUPANTS USING EXIT C	12
OCCUPANTS USING EXIT D	84
OCCUPANTS USING EXIT E	9
OCCUPANTS USING EXIT F	7 (BASEMENT ONLY)

KEY

(10) OCCUPANT LOAD FOR THIS SPACE

(5A) OCCUPANT LOAD EXITING THROUGH THIS LOCATION

FE △ FEC
FIRE EXTINGUISHER (CABINET)

CERTIFIED HISTORIC STRUCTURE

LOUDON COUNTY COURTHOUSE IS A HISTORIC BUILDING PER IBC 3102, LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES. IN ORDER TO PRESERVE HISTORIC CHARACTER-DEFINING FEATURES, THIS PROJECT INCLUDES ALTERNATIVES TO FULL, LITERAL CODE COMPLIANCE AS ALLOWED BY IBC 3409 AND EBC.

SPRINKLER SYSTEM NOTE

REFER TO FIRE PROTECTION DRAWINGS FOR INFORMATION ON NEW SPRINKLER SYSTEM.

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

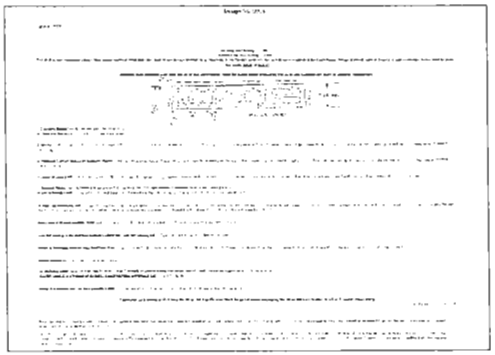
THESE DRAWINGS ARE INTENDED TO ILLUSTRATE GENERALLY THE PROPOSED SCOPE AND QUALITY OF THE PROJECT AND TO ASSIST IN OBTAINING A PRELIMINARY ESTIMATE OF CONSTRUCTION COST. THESE DOCUMENTS ARE NOT INTENDED FOR CONSTRUCTION, NOR ARE THEY INTENDED TO BE COMPLETE OR FULLY DETAILED. THEY CONTAIN A LEVEL OF INCONSISTENCY COMMON TO PROGRESS DRAWINGS AT THE DESIGN DEVELOPMENT STAGE. THE FINAL CONSTRUCTION DOCUMENTS WILL MODIFY SOME OF THE INFORMATION CONTAINED HEREIN BASED ON ARCHITECTURAL REQUIREMENTS, DEVELOPMENT OF BUILDING SYSTEMS, OWNER CHANGES, AND COORDINATION OF INFORMATION.

LIFE SAFETY PLANS

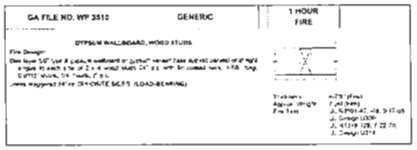
PRELIMINARY - NOT FOR CONSTRUCTION

01/28/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
2014 PROJECT NUMBER

A0.1



1 A0.2 UL U905



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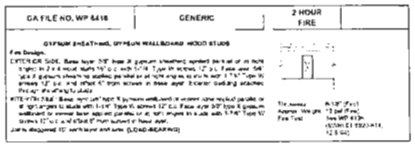

3 A0.2 GA WP8418

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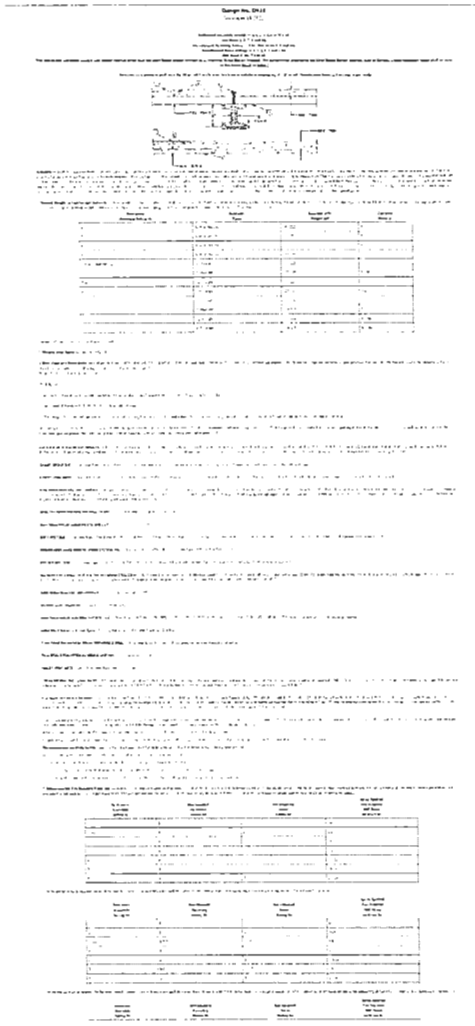
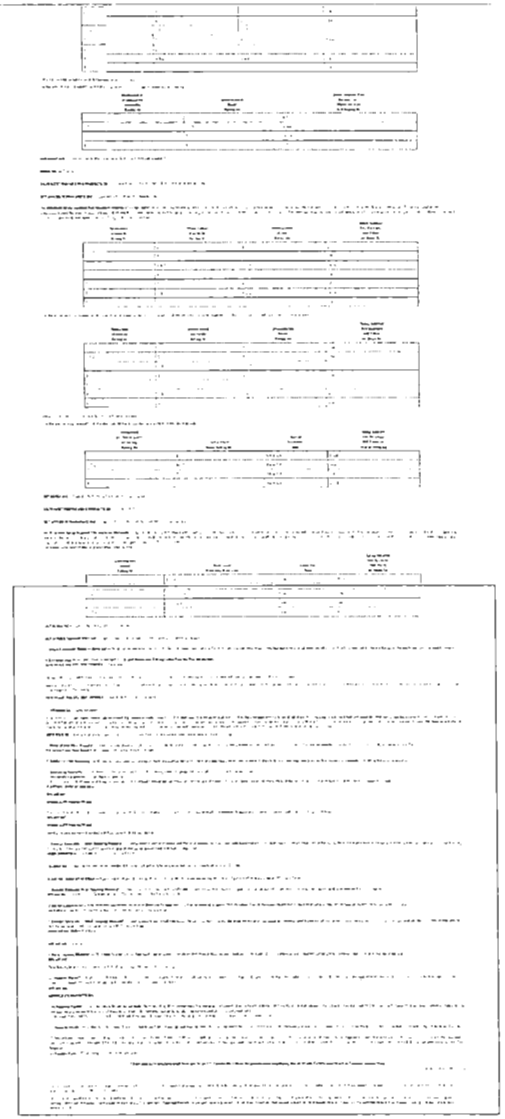


5 A0.2 UL D916



BREWER INGRAM FULLER Architects Inc.

London County Courthouse

RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

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RATING DETAILS

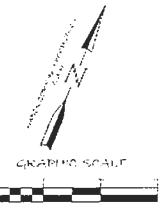
PRELIMINARY - NOT FOR CONSTRUCTION

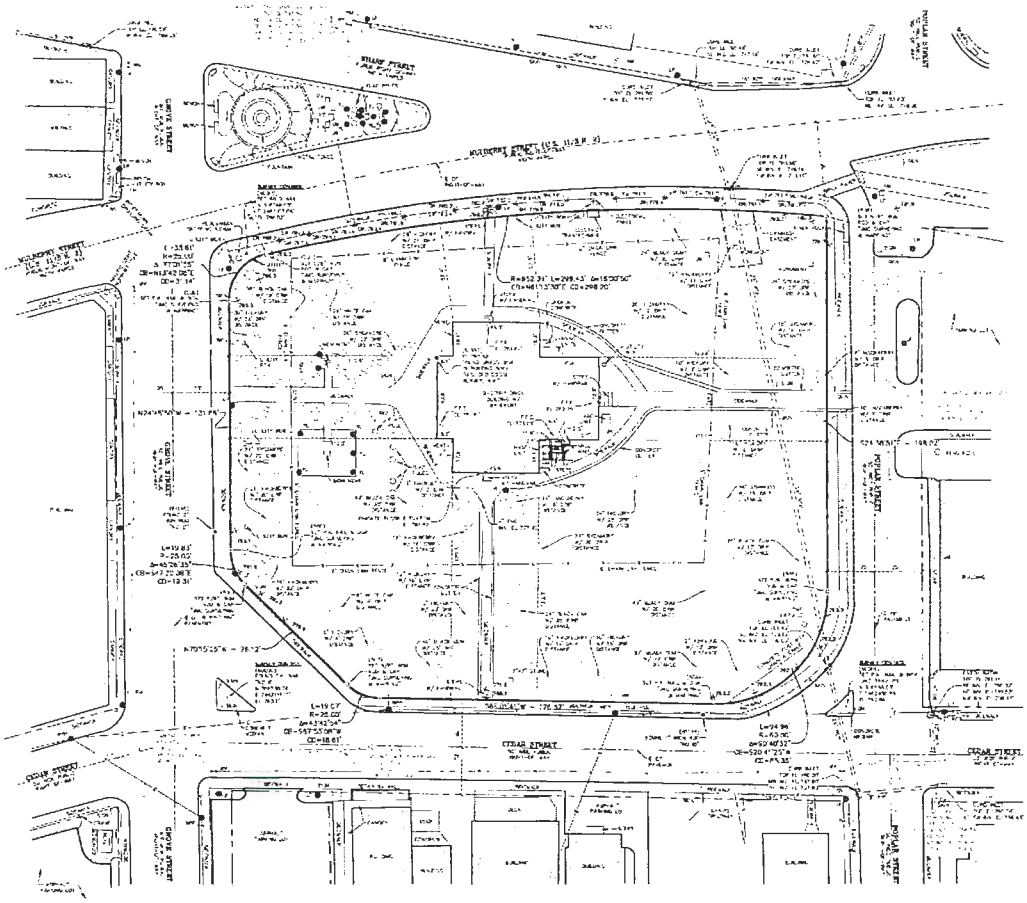
10/28/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
2014 PROJECT NUMBER

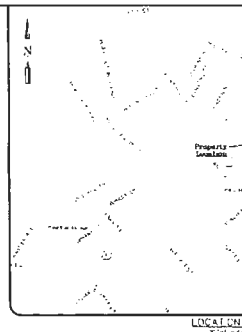
A0.2

ecific Purpose Survey for: County of Loudon

rove Street ~Being All of the Property Described in Deed Book A, Page 70 ~ A Parcel of Land
ving in the First Civil District of Loudon County & within the City of Loudon, Tennessee







LOCATION

AL DESCRIPTION OF RECORD
DED BOOK A, PAGE 70)

PART A CERTAIN LOT OR PARCEL OF LAND LYING
CIVIL DISTRICT IN THE TOWN OF LOUDON, LOUDON
TENNESSEE KNOWN AS THE PUBLIC SQUARE LOT IN
OF THE TOWN OF LOUDON AND BOUND AS
A STAKE IN THE EDGE OF WHARF AND POPLAR
E WEST WITH THE COURSE AND DISTANCE NOTED
HALF OF THE TOWN THREE HUNDRED AND THIRTY
STAKE IN THE EDGE OF WHARF AND GROVE
TH COURSE IN ACCORDANCE WITH THE COURSE
THE PLAT AND SURVEY OF THE TOWN THREE
ND ONE HALF FEET TO A STAKE IN THE EDGE OF
THIS THENCE EAST ACCORDING TO THE COURSES
N THE PLAT AND SURVEY OF THE TOWN TWO
D HALF FEET TO A STAKE IN THE EDGE OF CEDAR
THENCE NORTH IN ACCORDANCE WITH THE
S AS NOTED IN THE PLAT AND SURVEY OF THE
AND THIRTY THREE FEET TO A STAKE IN THE EDGE
STREETS THE PLACE OF THE BEGINNING
ONG ALL THE LAND KNOWN AND DESCRIBED IN THE
THE TOWN OF LOUDON AS THE PUBLIC SQUARE TO
SAID LOT ON PUBLIC SQUARE TO THE SAID PARTIES
AS AN INHERITANCE IN FEE AND THE SAID PARTIES
THEREUNTO COVENANT WITH THE SAID PARTY OF THE
Y ARE LAWFULLY SEIZED AND POSSESSED IN THEIR
TATIVE CHARACTER TO A GOOD TITLE TO SAID LOT
THAT THEY HAVE A PERFECT RIGHT TO SELL AND
HEIR SAID REPRESENTATIVE CHARACTER AND THAT
HE FIRST PART WILL IN SAID REPRESENTATIVE
ANT AND DEFEND THE RIGHT AND TITLE TO SAID
TO THE SAID PARTY OF THE SECOND PART
AGAINST THE LAWFUL CLAIMS OF ALL PERSONS WHAT SO EVER IN
THE SAID PARTIES OF THE FIRST PART HAVE
NDS AND SEALS THIS THE FOURTH DAY OF APRIL

AREA STATEMENT

PARCEL 002.00 CONTAINS 76,000
SQUARE FEET, 1.75 ACRES, MORE
OR LESS

SURVEYOR'S NOTES

1. BEARINGS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN DA
2002.0, TENNESSEE GEODETIC REFERENCE NETWORK AND FURTHER REFERE
OF TRANSPORTATION VIRTUAL NETWORK.
2. ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GRID DISTANCES AND AR
THE COMBINED SCALE FACTOR FOR THIS PROJECT IS 0.999917077.
3. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN V
AND FURTHER REFERENCED TO THE TENNESSEE DEPARTMENT OF TRANSPOR
4. GLOBAL POSITIONAL DATA (REAL-TIME KINEMATIC (RTK) GPS) WAS OBSERV
TRIMBLE R10 DUAL FREQUENCY RECEIVER. THE POSITIONAL ACCURACY OF T
HEREON THIS SURVEY DOES NOT EXCEED 0.07 FEET HORIZONTALLY OR U
5. FIELD CONTROL STATIONS ARE LISTED AS FOLLOWS
1) TDOT DISTRICT DATA, PELLISSIPPI STATE COMMUNITY COLLEGE, LATITUD
LONGITUDE: -84°-0'-20.37630", ELLIPSOID HEIGHT: 281.155 METERS
6. THE SURVEY SHOWN HEREON WAS REVIEWED BY THE CERTIFYING SURVEYO
FOLLOWING DATES: AUGUST 29, 2019 AND NOVEMBER 20, 2019. THE FIELD
11, 2019.
7. ALL ABOVE GROUND IMPROVEMENTS AND UTILITIES WITHIN THE PROPERTY
HEREON. THERE HAS BEEN NO ATTEMPT TO LOCATE ANY UNDERGROUND U
UNDERGROUND UTILITIES SHOWN HEREON WERE FROM ACTUAL FIELD EVIDE
NOT BE SHOWN OR VARY FROM WHERE SHOWN. NO GUARANTEE IS EXPRES
LOCATION OF ANY UTILITIES SHOWN, WHICH ARE NOT VERIFIED FROM THE SU
8. THE SURVEY SHOWN HEREON WAS COMPLETED WITHOUT THE BENEFIT OF A
ALL PROPERTY AND FIELD INFORMATION WAS PROVIDED BY THE CLIENT. PR
EASEMENTS, RIGHT-OF-WAYS, OR OTHER ENCROACHMENTS NOT SHOWN N
9. SOURCES OF INFORMATION USED TO FACILITATE THIS SURVEY WERE PROVI
BY OTHER FIRMS AND INFORMATION FURNISHED BY CLIENT. NO TITLE SEAR
PERFORMED BY THIS FIRM. THERE MAY BE DEEDS OF RECORD, UNRECORD
RIGHT-OF-WAYS, OR OTHER INSTRUMENTS OF RECORD WHICH COULD AFF
PROPERTY THAT WERE NOT FURNISHED AT TIME OF SURVEY.
10. THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "X" ACCORDIN
MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR LOUDON COUNTY
AREAS. THIS MAP IS DESIGNATED AS MAP NUMBER 47105C0127D AND HAS
2007.
11. THE PROPERTY SHOWN HEREON IS ZONED "C-1" (RURAL CENTER DISTRICT
PLANNING BUILDING SETBACKS ARE AS FOLLOWS:
FRONT .....35' (RESIDENTIAL AND NON-RESIDENTIAL USES)
SIDE .....20'(RESIDENTIAL AND NON-RESIDENTIAL UNITS)
STORY ON RESIDENTIAL UNITS, AND AN ADDITIONAL 10' FOR EACH STORY
REAR .....25'(RESIDENTIAL USES).....30'(NON-RESIDENT
BUILDING AUTHORITIES PRIOR TO CONSTRUCTION. SETBACKS ARE SUBJEC
12. THE OWNER AND PROPERTY ADDRESS
COUNTY OF LOUDON, TENNESSEE
421 GROVE STREET
LOUDON, TENNESSEE 37774
13. THIS SURVEY IS CERTIFIED TO:
COUNTY OF LOUDON, TENNESSEE

SURVEYOR'S CERTIFICATION

(NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF A TENN

I HEREBY CERTIFY THAT THE SPECIFIC PURPOSE SURVEY OF THE PROPERTY S
MY DIRECTION AND SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY
I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STAN
THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS IN CHA
PRACTICE. NO SEARCH OF PUBLIC RECORDS WAS MADE BY THIS OFFICE. THE
PROVIDED BY THE CLIENT OR THE CLIENT'S REPRESENTATIVES.
I FURTHER CERTIFY THAT THE SURVEY CONTROL SHOWN AND UTILIZED FOR TH
REAL TIME KINEMATIC GLOBAL POSITIONING SYSTEMS METHODOLOGY, MEETING
CURRENT MINIMUM STANDARDS FOR A CATEGORY IV SURVEY.
I FURTHER CERTIFY THAT THE BOUNDARY SURVEYING AND CONVENTIONAL TRA
STANDARDS FOR A CATEGORY IV SURVEY. THE RATIO OF PRECISION OF THE
EXCEEDS 1:10,000 AS SHOWN HEREON.

NOVEMBER 20, 2019
DATE OF SIGNATURE

JOSEPH L
TENNESSEE REGISTE
CERTIFICA

Tax Map 041B, Group D, Control Map C

LEGEND

IRON PIN/PIPE		RIGHT-OF-WAY LINE, TYP. (NOT SURVEYED, LINE MATCHED FROM DEED OR PLATS SURVEYS ADJOIN)	GAS VALVE
IRON PIN/PIPE (LEAVE OTHERWISE)		WATER VALVE	GROUND
		WATER METER	HYDRANT
		GAS METER	UNDERGROUND WATER LINE
		HOSE LINE	MINIMUM FLOOR ELEVATION
		TELEPHONE PEDESTAL	ASPHALT SURFACE
		UNDERGROUND UTILITY LINE	GRAVEL SURFACE
		CENTER LINE	CONCRETE SURFACE
		SIDEWALK	BRICK SURFACE
		UNDERGROUND ELEC. LINE	SIGN
		REINFORCED CONCRETE PIPE	

PRELIMINARY ~ FOR REVIEW ONLY
BOUNDARY IS NOT FINAL UNTIL PLAT IS
APPROVED
NOVEMBER 20, 2019

NO.	REVISIONS	DATE	BY

PROFESSIONAL
JMK
SURVEYING AND MAPPING

SPECIFIC PU
C
1ST CIVI
LOUDON,

1"=30'
C.L.S.

GENERAL NOTES

1. THE PROJECT SITE IS SHOWN ON JURISDICTION TAX MAP 041B, AS PARCEL 041B D 002.00
2. ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL GOVERNING AUTHORITY SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER
3. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION
4. BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY AKC PROFESSIONAL SURVEYING AND MAPPING DATED 11/20/2019 S&ME INC. AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH
5. THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, i.e. INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER
6. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS, AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL CALL NATIONAL ONE CALL (811) 72 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION

EROSION CONTROL NOTES:

1. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 47105C0177D OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR LOUDON, TENNESSEE, WITH AN EFFECTIVE DATE OF 5/16/2007
2. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATION BEGINS AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
3. PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT
4. PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED
5. CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS
6. SEDIMENT REMOVED FROM SEDIMENT CONTROL STRUCTURES IS TO BE PLACED AT A SITE APPROVED BY THE ENGINEER. IT SHALL BE TREATED IN A MANNER SO THAT THE AREA AROUND THE DISPOSAL SITE WILL NOT BE CONTAMINATED OR DAMAGED BY THE SEDIMENT IN THE RUN-OFF. THE CONTRACTOR SHALL OBTAIN THE DISPOSAL SITE AS PART OF THIS WORK
7. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS AND OTHER SEDIMENT CONTROLS AS NECESSARY AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50% OR AS DIRECTED BY OWNERS REPRESENTATIVE
8. THE CONTRACTOR SHALL REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE
9. THE CONTRACTOR SHALL REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND WHEN IN THE OPINION OF THE JURISDICTION HAVING AUTHORITY'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED
10. SOD ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED, UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION

TREE PROTECTION NOTES

1. PRIOR TO CONSTRUCTION ACTIVITY, THE GENERAL CONTRACTOR SHALL STAKE THE LIMITS OF CLEARING, GRADING AND BUILDING FOOTPRINTS THAT AFFECT THE TREE PRESERVATION AREAS
2. THE LOCATION OF TREE PROTECTION MEASURES SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION COMMENCING. TREE PROTECTION BARRICADES SHALL CONSIST OF ORANGE PLASTIC BARRIER CONSTRUCTION FENCING, AND SHALL BE INSTALLED IN LOCATIONS AS DIRECTED BY THE OWNER'S REPRESENTATIVE
3. CONTRACTOR SHALL INSTALL ADEQUATE TREE PROTECTION MEASURES PRIOR TO ANY GRADING ACTIVITIES TO PREVENT CONSTRUCTION ACTIVITIES WITHIN PROXIMITY OF SPECIMEN TREES
4. ALL GRADING WITHIN PROTECTED-ROOT-ZONE AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE
5. ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE GROUND AND COVERED WITH BACKFILL AS SOON AS POSSIBLE. IF EXPOSED ROOTS ARE NOT COVERED WITHIN 24 HOURS, COVER THEM WITH MULCH AND THOROUGHLY WATER UNTIL COVERED WITH BACKFILL
6. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE OR STORE MATERIALS, WITHIN THE DRIP LINES OF TREES TO BE PRESERVED
7. WHENEVER GRADING OR EXCAVATION IS DIRECTED WITHIN THE CANOPY COVERAGE AREA OF A TREE TO BE PRESERVED, FIRST CUT ROOTS USING A "DITCH WITCH" OR SIMILAR DEVICE TO PROVIDE CLEAN CUT OF ROOTS AT LIMITS OF ACTIVITY (PRIOR TO USE OF BACKHOE OR BULLDOZER). DO NOT ALLOW HEAVY EQUIPMENT WITHIN THE AREA BETWEEN CUT LINE AND TRUNK OF TREE. TRENCHES TO BE BACKFILLED AND TAMPERED TO MINIMIZE SETTLEMENT
8. BARRICADES SHALL ENCROACH ON AREAS TO BE PAVED UNTIL PAVING AND/OR GRADE ADJUSTMENT ACTIVITIES BEGIN. ONLY THEN SHALL BARRICADES BE MOVED TO THE MAXIMUM ALLOWABLE PROTECTED ROOT TREE SAVE ZONE THAT WILL NOT ENCROACH ON THE PLANNED CONSTRUCTION. REMOVAL OF BARRICADE SHALL OCCUR ONLY AFTER PAVING IS COMPLETED AND CURBING IS INSTALLED OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE

TREE PROTECTION NOTES CONT.

9. PROVIDE WATERING OF SPECIMEN TREES DURING CONSTRUCTION WHEN PERIODS OF DROUGHT EXCEED SEVEN DAYS. UTILIZE OSCILLATING TYPE SPRINKLERS TO COVER ENTIRE PROTECTED ROOT ZONE FOR FOUR HOURS EACH WEEK
10. ROOT AREA OF TREES WHERE SOIL HAS BEEN COMPACTED DUE TO CONSTRUCTION ACTIVITY SHALL BE VERTICALLY MULCHED (AERATED) AT DIRECTION OF LANDSCAPE ARCHITECT. THIS SHALL BE ACCOMPLISHED BY AUGURING THE SOIL IN A 2' GRID PATTERN TO WITHIN 3' OF TRUNK AND TO 18" BEYOND THE DRIP LINE. A 2" TO 3" HAND OPERATED AUGUR SHALL BE USED TO DRILL HOLES TO A MINIMUM DEPTH OF 12". TYPE OF BACKFILL WILL BE DETERMINED BY THE QUALIFIED PROFESSIONAL
11. HEAVY ACCUMULATION OF DUST FROM CONSTRUCTION ACTIVITY MAY OCCUR ON THE SURFACE OF TREE FOLIAGE. TO CONTROL DUST, TREE FOLIAGE MAY BE HOSED DOWN UPON THE REQUEST OF THE QUALIFIED PROFESSIONAL
12. REMOVAL OF ALL TREE PROTECTION FENCING, SILT FENCING AND SIGNAGE WILL BE DONE BY THE GENERAL CONTRACTOR WHEN PERMITTED BY THE LOCAL CODE ENFORCEMENT OFFICIALS. RESTORATION OF ALL AREAS DISTURBED BY THE FENCING AND/OR SIGNAGE WILL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY

DEMOLITION NOTES

1. ALL MATERIALS BEING REMOVED AND NOT RELOCATED UNDER THE NEW CONSTRUCTION, INCLUDING TREES AND SHRUBS, SIGNS, UTILITY STRUCTURES, LIGHTING STANDARDS, ETC., SHALL BE FIRST OFFERED TO THE OWNER'S REPRESENTATIVE AND IF NOT ACCEPTED SHALL THEN BE PROPERLY DISPOSED OF BY THE CONTRACTOR.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHARTED AND UNCHARTED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN OR REQUIRED TO REMAIN IN SERVICE UNTIL REPLACEMENT. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY
3. THE CONTRACTOR SHALL VERIFY THE LIMITS OF DEMOLITION WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK
4. IN AREAS WHERE EXISTING PAVEMENT, WALKS, OR CURBS ARE TO BE REMOVED, SAW CUT TO PROVIDE A CLEAN EDGE. COORDINATE EXTENT OF PAVEMENT DEMOLITION WITH THE LIMIT OF NEW IMPROVEMENTS ON THE SITE LAYOUT PLAN & UTILITY INSTALLATION
5. CONTRACTOR SHALL COORDINATE PHASING OF THE DEMOLITION WITH THE OWNER'S REPRESENTATIVE AND LOCAL GOVERNING AGENCY PRIOR TO BEGINNING WORK. DISRUPTION OF EXISTING UTILITY SERVICES AND TRAFFIC PATTERNS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE AND INITIATED ONLY AFTER APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE UTILITY COMPANIES
6. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE SUITABLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO ACCOMPLISH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS
9. THE CONTRACTOR SHALL PRESERVE AND PROTECT SURVEY CONTROL POINTS AND SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DISTURBED CONTROL POINTS
10. RELOCATION OF EXISTING PLANT MATERIALS SHALL BE COORDINATED WITH THE OWNER AND RELOCATED TO A DESIGNATED AREA ON SITE
11. EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION IN ACCORDANCE WITH THE TREE PROTECTION NOTES
12. NO UTILITY OR STORM SEWER LINES SHALL BE DEMOLISHED UNTIL THE NEW LINES HAVE BEEN INSTALLED AND ARE PLACED INTO OPERATION
13. THE CONTRACTOR SHALL INCORPORATE INTO THEIR WORK ANY ISOLATION VALVES OR TEMPORARY PLUGS REQUIRED TO CONSTRUCT NEW UTILITY LINES AND DEMOLISH EXISTING UTILITY LINES
14. SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPLINGS UNDER 1" DIAMETER AND UNDERBRUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS
15. WHERE EXISTING IRRIGATION LINES LIE WITHIN THE AREA AFFECTED BY THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL REWORK THE EXISTING IRRIGATION SYSTEMS IN ACCORDANCE WITH DIRECTIVES NOTED ON THE LANDSCAPE PLAN. SERVICE SHALL BE MAINTAINED DURING CONSTRUCTION TO THE LANDSCAPED AREAS CURRENTLY IRRIGATED

SITE LAYOUT NOTES

1. THE SITE LAYOUT IS BASED ON REFERENCE POINTS AS NOTED
2. THE PROPOSED BUILDING SHALL BE LAID OUT UTILIZING THE EXISTING STRUCTURE AS A CONTROL POINT AND THE ARCHITECTURAL DRAWINGS. DIMENSIONS SHOWN TO THE PROPOSED BUILDING ARE CALCULATED TO THE FACE OF EXTERIOR WALL. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
3. DIMENSIONS ARE TO FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED
4. ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1 HORIZONTAL : 12 VERTICAL. GRADES WITHIN ACCESSIBLE PARKING SPACES SHALL BE MAXIMUM 2% IN ALL DIRECTIONS
5. CONCRETE FOR SIDEWALKS SHALL BE 3500 PSI CONCRETE

SITE GRADING & DRAINAGE NOTES

1. THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER
2. THE CONTRACTOR SHALL ADJUST THE CASTINGS OF ALL NEW AND EXISTING STRUCTURES TO MATCH PROPOSED FINISH GRADES
3. PROPOSED CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF AN ENGINEERED GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THE INTENT OR ANY PROBLEM WITH THE CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY
4. ALL CUT AND FILL SLOPES SHALL BE 3 HORIZONTAL TO 1 VERTICAL OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS
5. ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO THE TOP OF SUBGRADE WITH CRUSHED STONE
6. MINIMUM GRADE ON ASPHALT OR CONCRETE PAVING SHALL BE 1.0%
7. IF ANY SPRINGS OR UNDERGROUND STREAMS ARE EXPOSED DURING CONSTRUCTION PERMANENT FRENCH DRAINS MAY BE REQUIRED. THE DRAINS SHALL BE SPECIFIED AND LOCATED DURING CONSTRUCTION AS REQUIRED BY THE CONDITIONS WHICH ARE ENCOUNTERED, AND SHALL BE APPROVED BY THE ENGINEER
8. THIS GRADING & DRAINAGE PLAN IS NOT A DETERMINATION OR GUARANTEE OF THE SUITABILITY OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED. A GEOTECHNICAL REPORT HAS BEEN PREPARED AND IS AVAILABLE FROM THE OWNER. DETERMINATION OF THE SUITABILITY OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR
9. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO COMPACT FILL SUFFICIENTLY AROUND AND OVER ALL PIPES, STRUCTURES, VALVE STEMS, ETC. INSIDE THE PROPOSED PAVED AREAS TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY PERIOD SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER
10. IN NO CASE SHALL SLOPE, HEIGHT, SLOPE INCLINATION, OR EXCAVATION DEPTH, INCLUDING TRENCH CONSTRUCTION, EXCEED THOSE SPECIFIED IN LOCAL, STATE AND FEDERAL REGULATIONS, SPECIFICALLY THE CURRENT OSHA HEALTH AND SAFETY STANDARDS FOR EXCAVATIONS (29 CRF PART 1926) SHALL BE FOLLOWED
11. DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES
12. STRIP TOPSOIL FROM ALL CUT AND FILL AREAS AND STOCKPILE UPON COMPLETION OF GENERAL GRADING OVER ALL DISTURBED AREAS, TO A MINIMUM DEPTH OF 6". CONTRACTOR SHALL SUPPLY ADDITIONAL TOP SOIL IF INSUFFICIENT QUANTITIES EXIST ON SITE
13. TOP OF GRATE ELEVATIONS AND LOCATION OF COORDINATES FOR DRAINAGE STRUCTURES SHALL BE AS SHOWN ON THE DETAIL, UNLESS NOTED OTHERWISE. THE GRATES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADES
14. ALL DRAINAGE CONSTRUCTION INSTALLATION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL GOVERNING AGENCY
15. POSITIVE DRAINAGE SHALL BE ESTABLISHED AS THE FIRST ORDER OF WORK AND SHALL BE MAINTAINED AT ALL TIMES DURING AND AFTER CONSTRUCTION. SOIL SOFTENED BY PERCHED WATER IN FOUNDATION AND PAVEMENT AREAS MUST BE UNDERCUT AND REPLACED WITH SUITABLE FILL MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER. GROUNDWATER INFILTRATION INTO EXCAVATIONS SHOULD BE EXPECTED, AND THE WATER SHALL BE REMOVED USING GRAVITY DRAINAGE OR PUMPING
16. REINFORCED CONCRETE STORM DRAINAGE PIPE SHALL BE CLASS III, WALL "B" HDPE SHALL BE CORRUGATED, SMOOTH WALL N-12 PIPE WITH SOIL TIGHT JOINTS
17. FILL SLOPES 3 HORIZONTAL : 1 VERTICAL AND GREATER SHALL BE PLACED AND COMPACTED 5' BEYOND PROPOSED LIMITS AND THEN EXCAVATED BACK TO THE PROPOSED LOCATION
18. THE CONTRACTOR SHALL PROVIDE AN ASBUILT SURVEY STAMPED BY A LICENSED SURVEYOR IN THE STATE OF TENNESSEE OF ALL STORM SYSTEMS, ONSITE DETENTION PONDS, AND WATER QUALITY MEASURES VERIFYING COMPLIANCE WITH DESIGN DOCUMENTS
19. THE LOCATION OF ALL DIVERSION SWALES AND DITCHES SHALL BE FIELD ADJUSTED TO AVOID TREES AS POSSIBLE. THE CONTRACTOR SHALL WALK THE ALIGNMENT OF THESE SWALES AND DITCHES IN THE FIELD TO VERIFY AVOIDANCE OF TREES, AND NOTIFY THE OWNERS REPRESENTATIVE OF SWALE WALK
20. STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS
21. ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE
22. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO WASTE EXCESS EARTH MATERIAL OFF SITE AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FIRST OFFER THE EXCESS MATERIAL TO THE OWNER. IF NOT ACCEPTED BY THE OWNER, THE CONTRACTOR SHALL DISPOSE OF EARTH MATERIAL OFF SITE. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO IMPORT SUITABLE MATERIAL (AT NO ADDITIONAL COST TO THE OWNER) FOR EARTHWORK OPERATIONS IF SUFFICIENT AMOUNTS OF EARTH MATERIAL ARE NOT AVAILABLE ON SITE

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RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS
NOT FOR CONSTRUCTION

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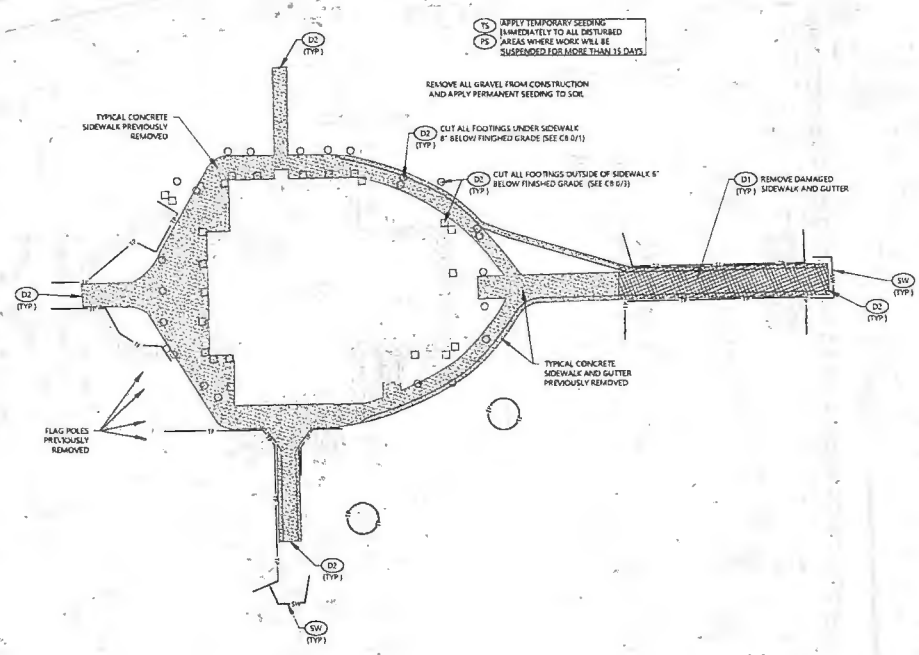
CIVIL NOTES

PRELIMINARY
– NOT FOR
CONSTRUCTION

10/28/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
2014 PROJECT NUMBER

C2.0

DEMOLITION KEYNOTES	
CODE	DESCRIPTION
D1	REMOVE EXISTING CONCRETE SIDEWALK AND GUTTER
D2	EVENLY SAWCUT
SW	SILTATION EEL (DETAIL 1/C8.1)
TS	TEMPORARY VEGETATION (DETAIL 2/C8.1)
PS	PERMANENT VEGETATION (DETAIL 3/C8.1)



NOTES
1. SEE SHEET C2.0 FOR GENERAL, DEMOLITION, AND TREE PROTECTION NOTES

LEGEND

CONCRETE PREVIOUSLY REMOVED	
CONCRETE TO REMOVE	
TREE PROTECTION	T.P.
SILTATION EEL	SW

BASE INFORMATION WAS TAKEN FROM A TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY JMC PROFESSIONAL SURVEYING AND MAPPING, DATED 11/20/2019. SGAME AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.

811 Know what's below. Call before you dig.

N

0 20 40 60
GRAPHIC SCALE (IN FEET)
VERTICAL DATUM: NAVD 88
HORIZONTAL DATUM: NAD 83/27

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RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

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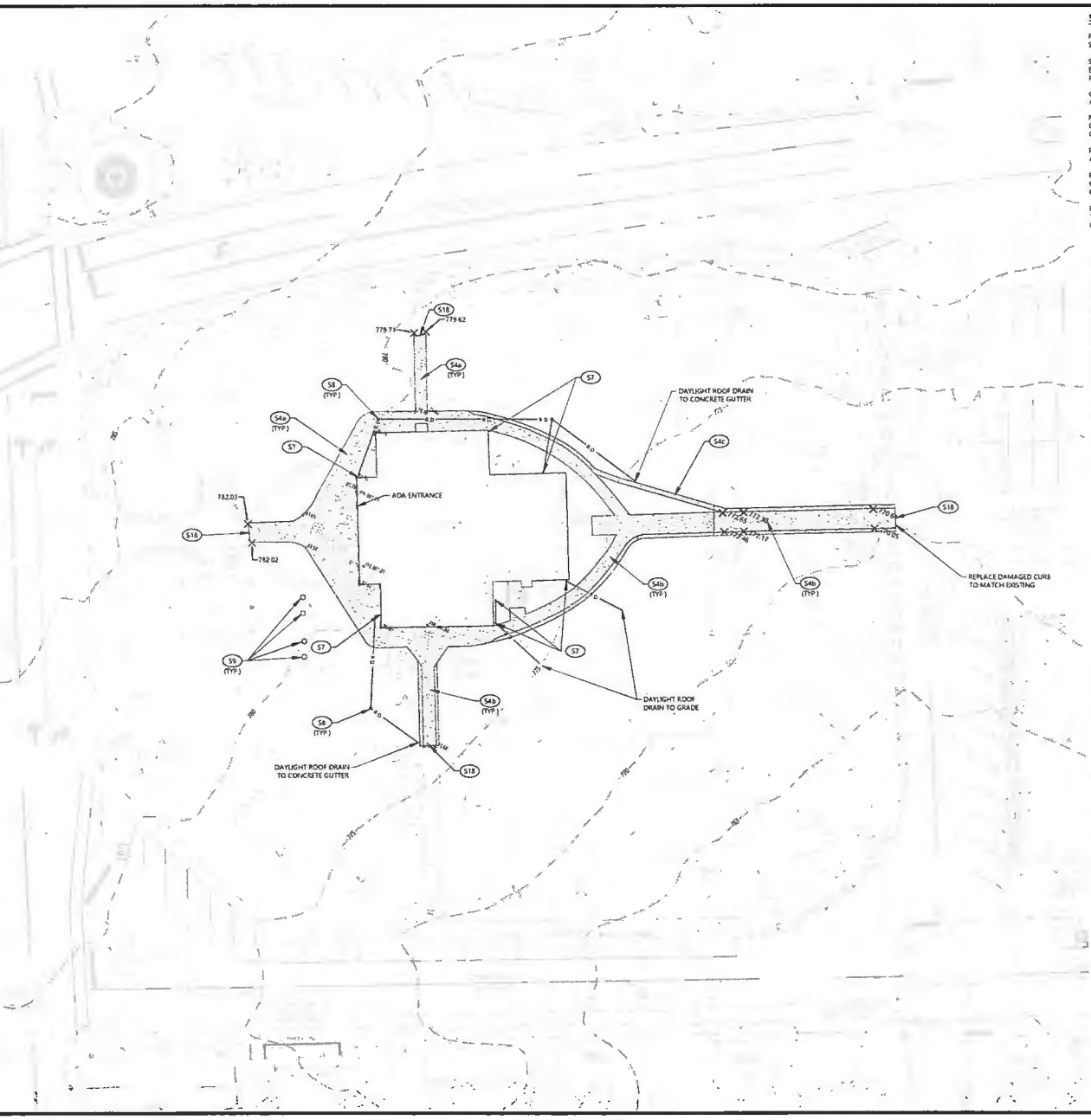
DEMOLITION AND EROSION CONTROL PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

10/18/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
2014 PROJECT NUMBER

C4.0



SITE DATA

PARCEL ID	048B D 002.00
SITE ADDRESS	801 GROVE STREET LOUDON, TN. 37774
SITE ACREAGE:	1.75 AC. (76,590 FT²)
EXISTING ZONING	C-1
PROPOSED USE	REHABILITATION A HISTORIC COUNTY COURTHOUSE
OWNER:	COUNTY OF LOUDON
ADDRESS:	1ST CIVIL DISTRICT OF LOUDON COUNTY LOUDON, TN. 37774
PHONE NO	(865) 525-2707
CONTACT NAME	MR. LEE INGRAM
CONTACT E-MAIL ADDRESS	lingram@brewerlingramfuller.com
PROJECT REPRESENTATIVE	S&ME, INC
ADDRESS:	6515 NIGHTINGALE LANE KNOXVILLE, TN 37909
PHONE NO.	865 970 0001
CONTACT NAME:	BRANT WOOD, PE
CONTACT E-MAIL ADDRESS	bwood@smeinc.com

FEMA PANEL:
THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 47105C0177D, 5/16/2007, COMMUNITY NAME: CITY OF LOUDON

SITE LAYOUT KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
S4a	CONCRETE SIDEWALK	1/C8.0
S4b	CONCRETE WITH GUTTER	4/C8.0
S4c	CONCRETE VALLEY GUTTER	6/C8.0
S5	SIDEWALK JOINTS	2/C8.0
S7	BUILDING DOWNSPOUT CONNECTION	7/C8.0
S8	CLEANOUT	9/C8.0
S9	FLAG POLE FOUNDATION	8/C8.0
S18	MATCH EXISTING GRADE	

ROOF DRAIN NOTES:
1. ROOF DRAINS SHALL BE 4" SCHEDULE 40 PVC PIPE AT MINIMUM SLOPE OF 0.5%
2. MIN. COVER AT DOWNSPOUT SHALL BE 6"

BASE INFORMATION WAS TAKEN FROM A TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY JMC PROFESSIONAL SURVEYING AND MAPPING, DATED 11/20/2019. S&ME AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH. GROUND CONTOURS SHOWN ARE FROM USGS 1M LIDAR DATA AND ARE ASSUMED TO BE APPROXIMATE. ADDITIONAL SPOT ELEVATION OBTAINED BY S&ME ON 10/31/22 TO SUPPLEMENT SURVEY DATA. CONTRACTOR TO VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION.

PROPOSED FEATURES LEGEND

CONCRETE SIDEWALK

ROOF DRAINS

NOTES:
1. SEE SHEET C2.0 FOR GENERAL AND SITE LAYOUT NOTES

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0 20 40 60
GRAPHIC SCALE (IN FEET)

VERTICAL DATUM NAVD 88
HORIZONTAL DATUM NAD 83/27

NOTES.
1. SEE SHEET C2.0 FOR GENERAL AND UTILITY NOTES

PROPOSED FEATURES LEGEND

DOMESTIC SERVICE	DW
FIRE SERVICE	FW
GAS LINE	GAS
UNDERGROUND ELECTRIC	UGE
WATER LINE WITH 90° THRUST BLOCK	
SANITARY SEWER LINE WITH CLEANOUT	
FIRE HYDRANT ASSEMBLY	
POST INDICATOR VALVE	
METER	
FIRE DEPARTMENT CONNECTION	

811
Know what's below.
Call before you dig.

N

0 20 40 60
GRAPHIC SCALE (IN FEET)
VERTICAL DATUM NAVD 88
HORIZONTAL DATUM NAD 83/27

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Loudon County Courthouse

RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

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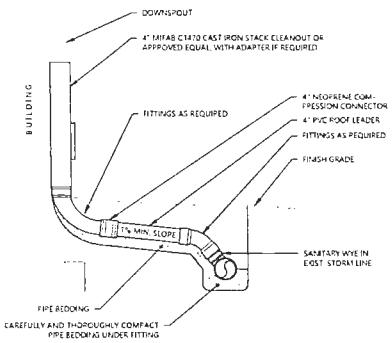
UTILITY PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

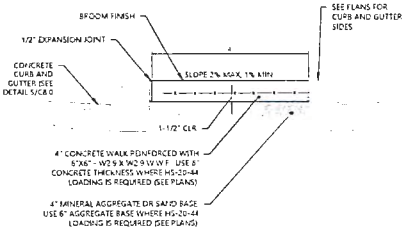
10/28/2022
DESIGN DEVELOPMENT PROGRESS PRINT FOR REVIEW
2014 PROJECT NUMBER

C7.0



7 DOWNSPOUT COLLECTOR

NO SCALE

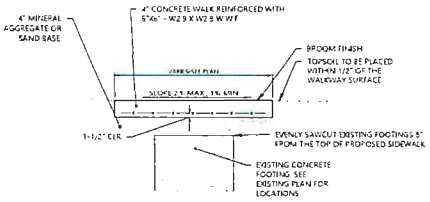


NOTES

1. USE 4000 PSI CONCRETE AND GRADE 60 STEEL
2. PROVIDE CONTROL JOINTS 5' APART AND EXPANSION JOINTS 25' APART, AND WHERE SIDEWALKS ABUT RIGID MATERIALS

4 SIDEWALK AT CURB AND GUTTER

NO SCALE



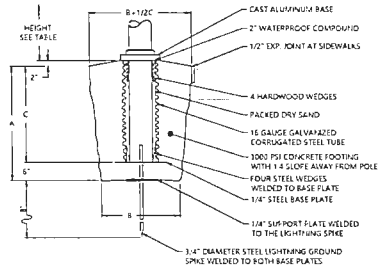
NOTES

1. USE 4000 PSI CONCRETE AND FIBER REINFORCEMENT
2. PROVIDE CONTROL JOINTS 5' APART AND EXPANSION JOINTS 25' APART, AND WHERE SIDEWALKS ABUT RIGID MATERIALS
3. ALL MATERIALS SHALL MEET TDOT MATERIAL SPECIFICATIONS FOR QUALITY AND PLACEMENT
4. FOR SIDEWALK IN ROW, BASE TO BE CRUSHED STONE, CLASS A, AGGREGATED.

1 CONCRETE SIDEWALK

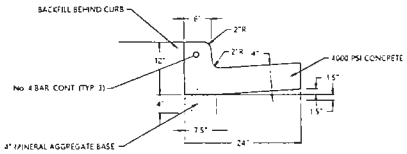
NOT TO SCALE

[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
25'	20'	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	2'	[illegible]
40'	15'	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
55'	30'	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]



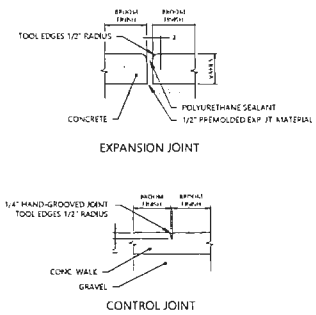
8 FLAG POLE BASE ASSEMBLY

NO SCALE



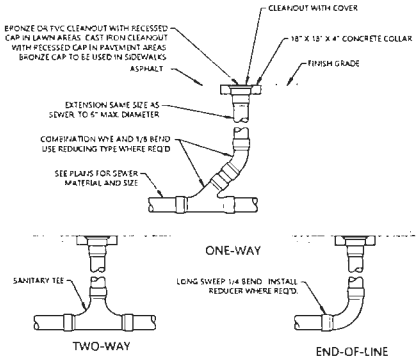
5 CONCRETE CURB AND GUTTER

NO SCALE



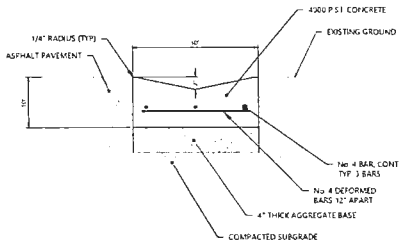
2 SIDEWALK JOINTS

NO SCALE



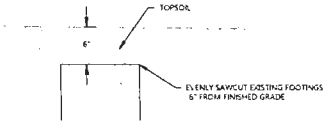
9 CLEANOUTS

NO SCALE



6 CONCRETE VALLEY GUTTER

NO SCALE



3 FOOTING DEMOLITION

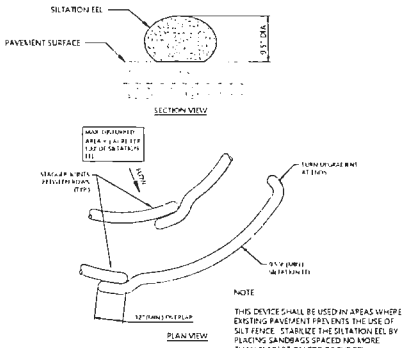
NO SCALE

PREFERRED SEED MIXES USING NATIVES OR NATURALIZED PLANTS AND PLANTING DATES

ZONE		BEST	MARGINAL	PEFERRED RATE/MIX (LB/AC PLS)
REGION III EAST TENNESSEE	>2500 FT ELEVATION, STEEP SLOPES	MAR 20 – APR 30	AUG 15 – AUG 30 MAR 1 – MAR 20 APR 20 – JUNE 15	15 BROWNTOP MILLET* (NURSE CROP) 5 PURPLETOP 15 LITTLE BLUESTEM 10 INDIAN GRASS 2 BLACK-EYED SUSAN 0.5 MONARDA (BERGAMOT) 4 MARYLAND SENNA
	<2500 FT ELEVATION, STEEP SLOPES	AUG 15 – SEPT 1 **MAR 1 – APR 1**	SEPT 1 – SEPT 15 APR 1 – JUNE 10	
	>2500 FT ELEV., SHALLOW SOILS	MAR 20 – APR 20	AUG 15 – AUG 30 MAR 5 – MAR 20 APRIL 20 – JUNE 15	15 BROWNTOP MILLET* (NURSE CROP) 4 PURPLETOP 10 LITTLE BLUESTEM 10 BROOMSEDGE 2 PARTRIDGE PEA 2 BLACK-EYED SUSAN 0.5 MONARDA (BERGAMOT)
	<2500 FT ELEV., SHALLOW SOILS	AUG 15 – SEPT 1 **MAR 1 – APR 1**	SEPT 1 – SEPT 15 APR 1 – JUNE 10	
	>2500 FT. ELEV., MODERATE SLOPES	MAR 20 – APR 20	AUG 15 – AUG 30 MAR 5 – MAR 20 APR 20 – JUNE 15	15 BROWNTOP MILLET* (NURSE CROP) 4 PURPLETOP 15 LITTLE BLUESTEM 10 INDIAN GRASS 2 BLACK-EYED SUSAN 0.5 MONARDA (BERGAMOT) 4 MARYLAND SENNA
	<2500 FT. ELEV., MODERATE SLOPES	AUG 15 – SEPT 1 **MAR 1 – APR 1**	SEPT 1 – SEPT 15 APR 1 – JUNE 10	
	>2500 FT ELEV., HIGH MAINTENANCE	**MAR 20 – APR 20**	AUG 15 – AUG 30 MAR 5 – MAR 20 APR 20 – JUNE 15	15 BROWNTOP MILLET* (NURSE CROP) 45 RED FESCUE* 45 HARD FESCUE* 25 CHEWING FESCUE*
	<2500 FT ELEV., HIGH MAINTENANCE	AUG 15 – SEPT 1 **MAR 1 – APR 1**	SEPT 1 – SEPT 15 APR 1 – JUNE 10	

ALLOWABLE SEED MIXES AND PLANTING DATES

ZONE		BEST	MARGINAL	RATE/MIX (LB/AC PLS)
REGION III EAST TENNESSEE	>2500 FT ELEVATION, STEEP SLOPES	JULY 25 - AUG 15 **MAR 20 – APR 20**	JULY 15 – JULY 25 AUG 15 – AUG 30 MAR 1- MAR 20 APR 20 – MAY 15	100 KY 31 FESCUE** 20 KOBE LESPEDEZA** 10 KOREAN LESPEDEZA** 5 REDTOP
	<2500 FT ELEVATION, STEEP SLOPES	AUG 15 – SEPT 1 **MAR 1 – APR 1**	JULY 25 – AUG 15 SEPT 1 – SEPT 15 APR 1 – MAY 10	
	>2500 FT ELEV SHALLOW SOILS	JULY 25 - AUG 15 **MAR 20 – APR 20**	JULY 15 – JULY 25 AUG 15 – AUG 30 MAR 1- MAR 20 APR 20 – MAY 15	40 KY 31 FESCUE** 10 KOREAN LESPEDEZA** 10 REDTOP 10 CROWN VETCH**
	<2500 FT ELEV., SHALLOW SOILS	AUG 15 – SEPT 1 **MAR 1 – APR 1**	JULY 25 – AUG 15 SEPT 1 – SEPT 15 APR 1 – MAY 10	
	>2500 FT ELEV. MODERATE SLOPES	JULY 25- AUG 15 **MAR 20 – APR 20**	JULY 15 – JULY 25 AUG 15 – AUG 30 MAR 1- MAR 20 APR 20 – MAY 15	60 KY 31 FESCUE** 15 KOREAN LESPEDEZA** 15 KOBE LESPEDEZA**
	<2500 FT ELEV., MODERATE SLOPES	AUG 15 – SEPT 1 **MAR 1 – APR 1**	JULY 25 – AUG 15 SEPT 1 – SEPT 15 APR 1 – MAY 10	
	>2500 FT ELEV., HIGH MAINTENANCE	JULY 25 - AUG 15 **MAR 20 – APR 20**	JULY 15 – JULY 25 AUG 15 – AUG 30 MAR 1- MAR 20 APR 20 – MAY 15	200 KY 31 FESCUE**
	<2500 FT ELEV., HIGH MAINTENANCE	AUG 15 – SEPT 1 **MAR 1 – APR 1**	JULY 25 – AUG 15 SEPT 1 – SEPT 15 APR 1 – MAY 10	



1 TEMPORARY SILTATION EEL (SW)

NO SCALE

TABLE NOTES

1 SOURCE: SECTION 2 OF THE TDEC EROSION AND SEDIMENT CONTROL HANDBOOK, 4TH EDITION AUGUST 2012
2 SPECIES WITH * ARE PERMANENT NOT DORMANT SEEDED
3 MIXES HAVE ** PREFERRED DATES FOR SEEDING
4 HIGH MAINTENANCE AREAS INCLUDE LAWNS AND OTHER GRASSED AREAS THAT WILL BE MAINTAINED FOR AESTHETICS

PERMANENT VEGETATION NOTES

1 CONSTRUCTION SPECIFICATIONS SHALL COMPLY WITH SECTION 7.0 OF THE TDEC EROSION AND SEDIMENT CONTROL HANDBOOK, 4TH EDITION AUGUST 2012
2 ONLY CERTIFIED SEED SHALL BE USED
3 SEEDING RATES SHOWN IN THE TABLE ARE PURE LIVE VIABLE (PLV) SEED. IF THE PLV OF THE SEED SHOWN ON THE SEED TAG APPROACHES 100% REFER TO ACTUAL SEEDING RATE WILL EQUAL THE RATE SHOWN IN THE TABLES DIVIDED BY THE PLV.
4 PREPARED SHALL MUST BE USED ON NEW SEED MIX THE EXISTING PERMANENT, PERENNIAL SPECIES
5 TEMPORARY SHALL BE REPLACED ON ALL AREAS TO BE PERMANENTLY SEEDED
6 SOIL AMENDMENTS: TEST SOIL PRIOR TO THE ATTENTION OF SPECIES BASED ON APPLICATION OF TONS OF PULVERIZED AGRICULTURAL LIMESTONE AND 1000 LBS OF 10-10-10 FERTILIZER
7 APPLY STRAW MULCH AT A RATE OF 2 TONS/ACRE WITH AVERAGE UNIFORM SURFACE COVERAGE OF 70% AND ANCHOR WITH A DISK, NETTING, OR A MULCH ANCHORING TOOL
8 IF A STAND HAS INADEQUATE COVER RE-EVALUATE CHOICE OF PLANT MATERIALS AND QUANTITIES OF LIME AND FERTILIZER. RE-ESTABLISH THE STAND AFTER SEEDED PREPARATION OR PURCHASED THE STAND. CONSIDER SEEDING A TEMPORARY, ANNUAL SPECIES IF THE TIME OF YEAR IS NOT APPROPRIATE FOR PERMANENT SEEDING

3 PERMANENT VEGETATION - REGION III (PS)

TEMPORARY SEEDING RECOMENDATIONS

TEMPORARY SEEDING RECOMMENDATION FOR EARLY WINTER AND EARLY SPRING			
SEEDING RATE (LB/AC)		SEEDING DATES	
RYE	120	EAST	ABOVE 2500 FEET FEB 15 - MAY 15
			BELOW 2500 FEET FEB 1 - MAY 1
		MIDDLE	JAN 1 - MAY 1
		WEST	DEC 1 - APR 15
TEMPORARY SEEDING RECOMMENDATION FOR SUMMER			
SEEDING RATE (LB/AC)		SEEDING DATES	
OATS	60	EAST	MAY 15 - AUG 15
BROWN TOP MILLET	30	MIDDLE	MAY 1 - AUG 15
		WEST	APR 15 - AUG 15
TEMPORARY SEEDING RECOMMENDATION FOR FALL			
SEEDING RATE (LB/AC)		SEEDING DATES	
OATS	30	EAST	AUG 15 – DEC 15
WINTER WHEAT	30	MIDDLE	AUG 15 – DEC 30
		WEST	AUG 15 – DEC 30

TABLE NOTES

1 SOURCE: SECTION 7.8 OF THE TDEC EROSION AND SEDIMENT CONTROL HANDBOOK, 4TH EDITION AUGUST 2012

TEMPORARY VEGETATION NOTES

1 CONSTRUCTION SPECIFICATIONS SHALL COMPLY WITH SECTION 7.0 OF THE TDEC EROSION AND SEDIMENT CONTROL HANDBOOK, 4TH EDITION AUGUST 2012

SOIL NOTES

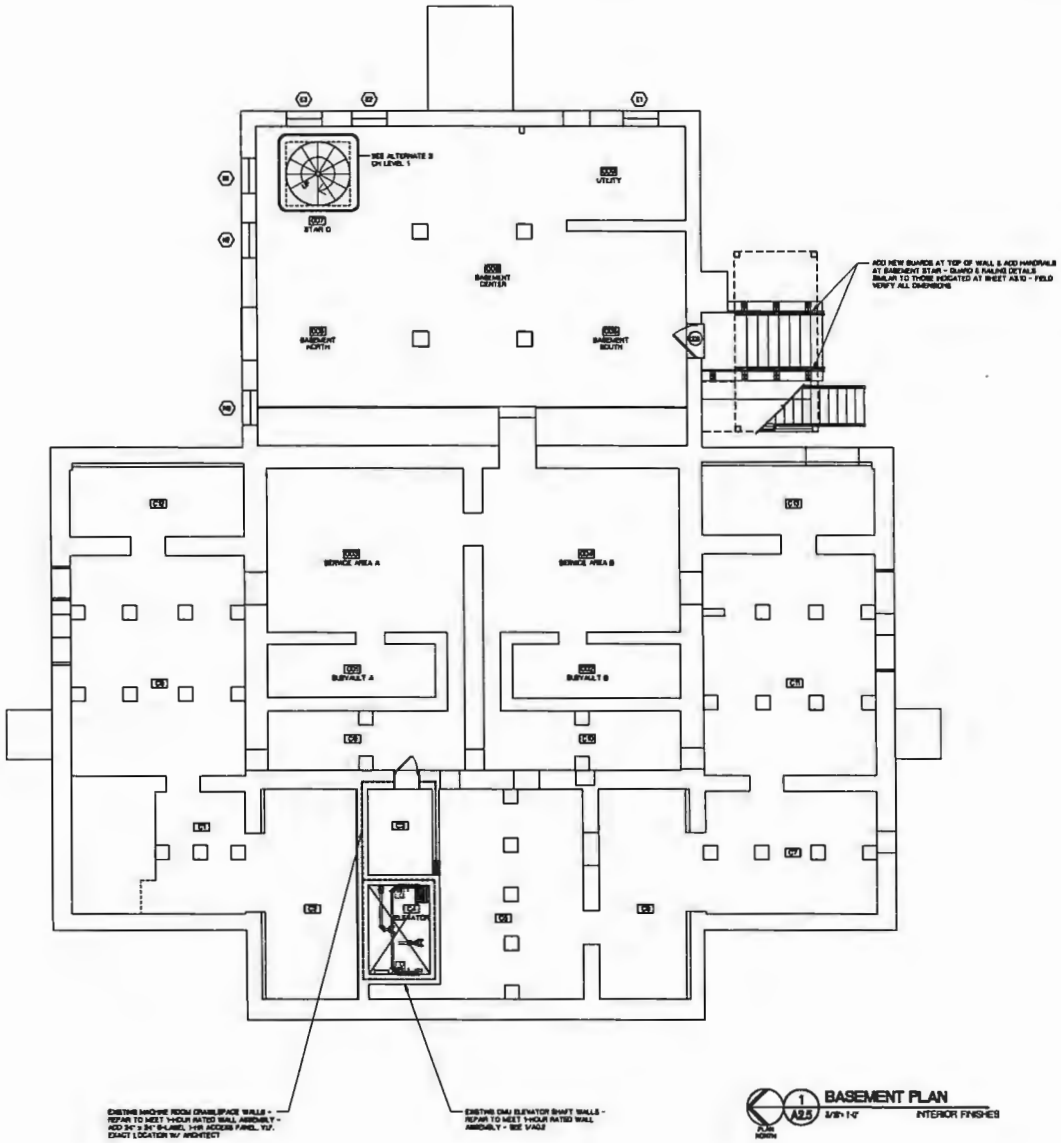
SOIL AMENDMENTS - LATE WINTER, EARLY SPRING, SUMMER AND FALL
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LBS/AC GROUND AGRICULTURAL LIMESTONE AND 200 LBS/AC 10-10-10 FERTILIZER

SEEDING - LATE WINTER, EARLY SPRING, SUMMER AND FALL
APPLY 4,000 LBS/AC STRAW ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL

MAINTENANCE - LATE WINTER, EARLY SPRING, AND SUMMER
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE

MAINTENANCE - FALL
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE. IF NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LBS/AC CRIMSON CLOVER IN LATE FEBRUARY OR EARLY MARCH

2 TEMPORARY VEGETATION (TS)



1 A2.5 BASEMENT PLAN
1/8"= 1'-0" INTERIOR FINISHES

BREWER INGRAM FULLER Architects Inc.

Loudon County Courthouse

RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

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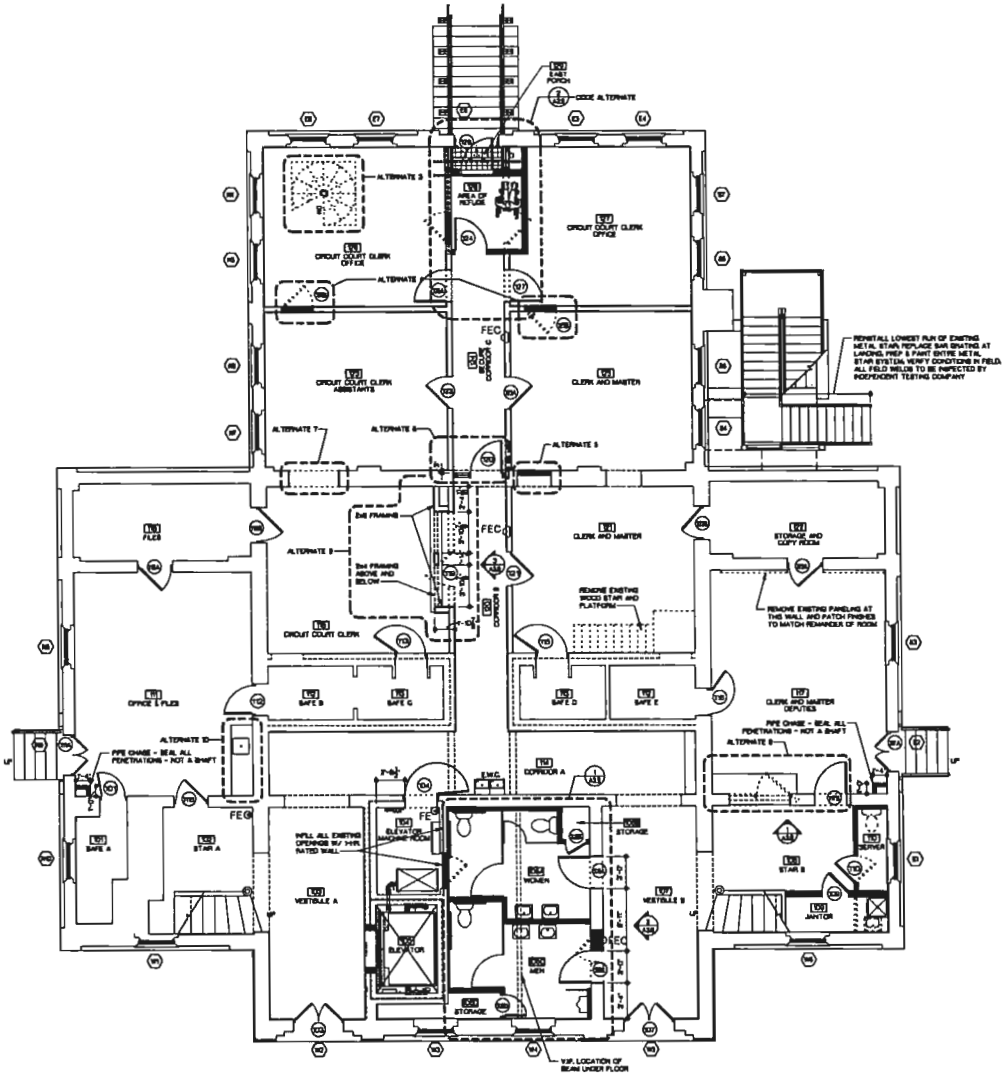
BASEMENT PLAN - INTERIOR FINISHES

PRELIMINARY - NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT PROGRESS PRINT FOR REVIEW
2014 PROJECT NUMBER

A2.5



FIRST LEVEL PLAN
1 A2.6 3/8"= 1'-0" INTERIOR FINISHES

INTERIOR PLAN NOTES

1. DIMENSIONS ARE TO FACE OF EXISTING WALL FINISHES, FACE OF EXPOSED MASONRY, FACE OF NEW WALL FINISH, CENTERLINE OF OPENINGS, AND CENTERLINE OF STEEL UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS GIVEN ARE ACTUAL RATHER THAN NOMINAL.
3. DO NOT ALTER OR REMOVE STRUCTURAL MEMBERS OR LOAD BEARING WALLS WITHOUT PERMISSION OF THE ARCHITECT.
4. LOCATE DOOR JAMBS 4" FROM INSIDE FINISH CORNERS OF WALLS, OR TO FINISH EDGE OF FULL DOOR CASING UNLESS NOTED OTHERWISE.
5. REFER TO SCHEDULES AND SPECIFICATIONS FOR ALL INTERIOR FINISHES.
6. HIDDEN BUILDING COMPONENTS NOT SPECIFICALLY NOTED TO BE MODIFIED WITHIN THESE DOCUMENTS, BUT WHICH DURING THE COURSE OF CONSTRUCTION CAN REASONABLY BE OBSERVED TO BE DETERIORATED OR QUESTIONABLE IN INTEGRITY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE BEING CONCEALED.
7. ALL AREAS OF THE BUILDING THAT ARE DISTURBED BY ADJACENT CONSTRUCTION ARE TO BE REPAIRED, PATCHED AND MATCHED TO THE SURROUNDING CONSTRUCTION.
8. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, ETC. IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
9. PROVIDE FAT. WOOD BLOCKING AND UTILITIES NECESSARY FOR ITEMS NOT IN CONTRACT (incl. COORDINATE WITH OWNER FOR EXACT LOCATIONS OF OWNER FURNISHED ITEMS. PROVIDE FAT. BLOCKING IN ALL WALLS ADJACENT TO CASEWORK.
10. EXISTING CONDITIONS AS SHOWN ON DRAWINGS ARE BASED ON FIELD OBSERVATION. THESE DRAWINGS ARE BELIEVED TO REPRESENT A LEVEL OF ACCURACY THAT SHOULD BE ACCEPTABLE FOR IMPLEMENTATION OF THIS PROJECT. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS OR DISCREPANCIES ARE NOTED THAT AFFECT THE PROJECT. ALL DIMENSIONS AND OTHER CONDITIONS AFFECTING ALIGNMENT, HEIGHTS, ETC., SHALL BE FIELD VERIFIED PRIOR TO FABRICATION OF ANY BUILDING COMPONENTS.
11. CONTRACTOR SHALL NOT SCALE THIS OR ANY OTHER DRAWING IN CONTRACT DOCUMENTS, UNLESS SPECIFICALLY STATED IN THE PARTICULAR DRAWING. DIMENSIONS SHALL ALWAYS BE USED FOR REFERENCE. CONTACT ARCHITECT FOR ADDITIONAL DIMENSIONAL INFORMATION OR FOR CLARIFICATION CONCERNING ANY DISCREPANCIES.
12. ALL DIMENSIONS MARKED "V.I.F." SHALL BE VERIFIED WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK. REPORT ALL DISCREPANCIES TO ARCHITECT. DIMENSIONS MARKED "REF." ARE FOR REFERENCE ONLY. OTHER GIVEN DIMENSIONS SHALL GOVERN. DIMENSIONS MARKED "CLR." ARE TO BE CLEAR DIMENSIONS TO FINISH SURFACES.
13. IN CASE OF DIMENSION DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS, ARCHITECTURAL DIMENSIONS SHALL GOVERN.
14. HANDLE AND DISPOSE OF ALL DEBRIS, MATERIALS AND TRASH IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, AND ORDINANCES.

ALTERNATES LIST (THIS SHEET ONLY)

ALTERNATE NO. 3:
BASE BID REPAIR EXISTING STEEL SPIRAL STAIR. REPAIR WOOD PERIMETER, AND NEW NOSINGS AT FLOOR OPENING AT LEVEL OF NEW FINISH FLOORING.
ALTERNATE: REMOVE EXISTING STEEL STAIR ENTIRELY. FILL IN EXISTING FLOOR FRAMING FOR STRUCTURAL DRAWINGS. FINISH FLOORING OVER REMOVED OPENING TO BE SEAMLESS.
ALTERNATE NO. 5:
BASE BID REINSTALL DOORS 0159 & 1089, WITH NEW HARDWARE PER SCHEDULE.
ALTERNATE: REMOVE EXISTING DOOR OPENING HEAD, JAMBS AND CASINGS. INFILL FRAMING, AND FINISH WALLS FLUSH. INFILL BASEBOARDS.
ALTERNATE NO. 6:
BASE BID REPAIR PLASTER AND BASEBOARDS AT EXISTING OPENING.
ALTERNATE: FRAME INFILL AT OPENING, AND FINISH WALL FLUSH WITH ROOM 0.75. INFILL BASEBOARDS.
ALTERNATE NO. 8:
BASE BID REPAIR PLASTER AT EXISTING ARCH.
ALTERNATE: ADD NEW DOOR, FRAME, AND TRANSOM AS DETAILED (NEW-1).
ALTERNATE NO. 9:
ALTERNATE: REMOVE EXISTING BRICK INFILL AT OLD ARCHED OPENING, AND REPOINT EXPOSED DEFECTIVE JOINTS PER SPECS BEFORE PLASTERING. PATCH IN SUBFLOOR.
ALTERNATE NO. 8:
BASE BID REPAIR EXISTING VOID IN WALL, REPAIR PLASTER, REINSTALL DOOR.
ALTERNATE: MODIFY ONE EXISTING MASONRY OPENING AND PROVIDE ONE NEW OPENING AS SHOWN.
ALTERNATE NO. 9:
BASE BID NEW WALL FINISHES AND PATCH BASE TO MATCH EXISTING REINSTALL DOOR.
ALTERNATE: MODIFY EXISTING FRAMED OPENING AND ONE NEW PER(NEW-2) AS SHOWN.
ALTERNATE NO. 10:
BASE BID PATCH PLASTER AT TRIM.
ALTERNATE: INSTALL NEW SINK AND CASEWORK.

MANDATORY DOOR ALTERNATE:
THE FOLLOWING CHANGES ARE DOOR REQUIREMENTS BY THE AUTHORITY HAVING JURISDICTION.
A. ADD FIRE PROTECTION SPRINKLER SYSTEM THROUGHOUT BUILDING.
B. CONSTRUCT AREA OF REFUSE AND REPLACE EXISTING MISSING EAST EXIT DOOR WITH OUTSWING SINGLE LEAF DOOR 0.9.
C. ADD AUTOMATIC DOOR OPENER AT EXISTING MISSING WEST ENTRANCE DOOR PAIR 1.0.
D. ADD GUARDS & HANDRAILS AT EAST EXIT STEPS & BASEMENT STEPS.
E. EXTEND GUARDS AT STAIR RUNS & ADD HANDRAILS & CLOSED RISERS AT EXISTING EXTERIOR EXIT STAIR.
F. INCLUDE ACCESSIBILITY PROVISIONS AS REQUIRED FOR JUDGE, CLERK & WITNESS BOX AREAS.
G. ADD SHIP LADDER ACCESS FROM LEVEL 3 TO MECHANICAL EQUIPMENT PLATFORM/ATTIC/CUPOLA.

BREWER INGRAM FULLER Architects Inc.

Loudon County Courthouse

RENOVATION PHASE 2

WALL TYPES

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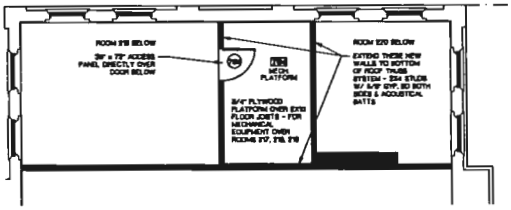
FIRST LEVEL PLAN - INTERIOR FINISHES

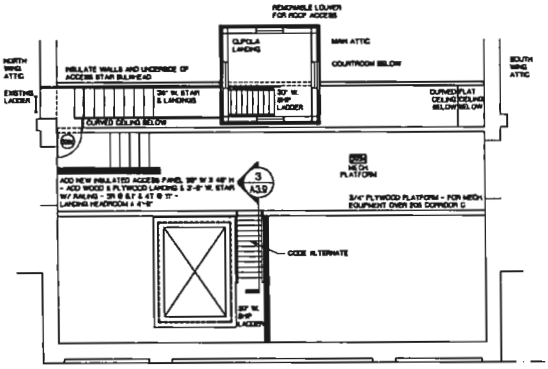
PRELIMINARY - NOT FOR CONSTRUCTION

10/28/2022
DESIGN DEVELOPMENT PROGRESS PRINT FOR REVIEW
2014 PROJECT NUMBER

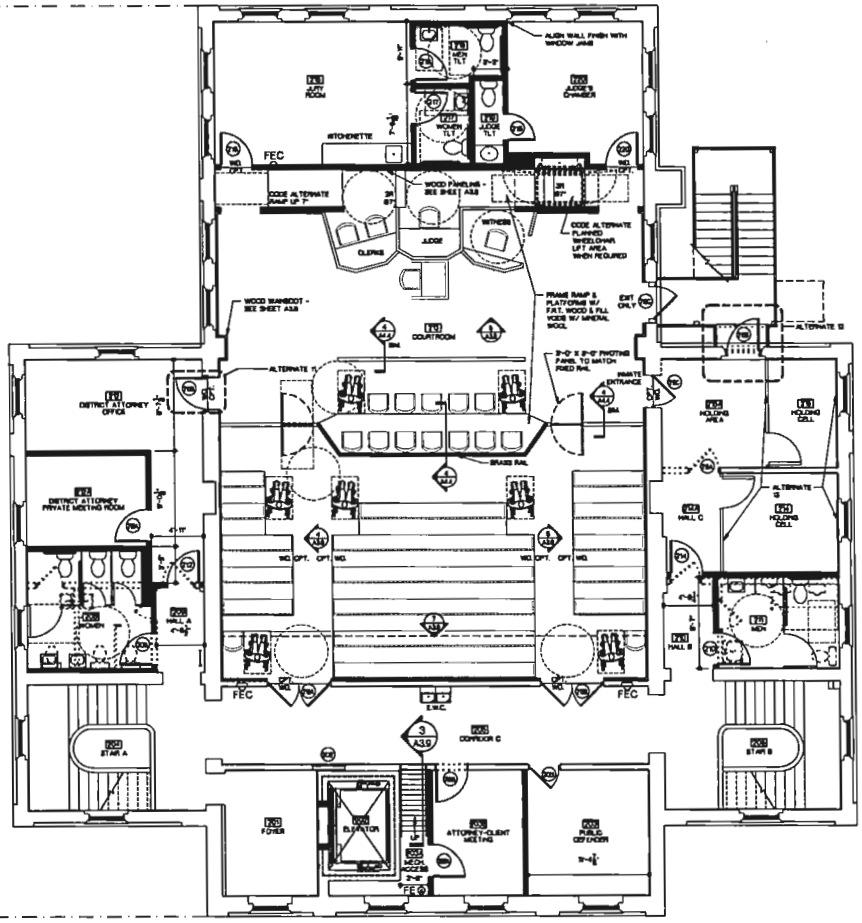
A2.6



2 A27 EAST MECH. PLATFORM PLAN
3/16" = 1'-0"
PLAN NORTH



3 A27 WEST MECH. PLATFORM PLAN
3/16" = 1'-0"
ATTIC & CUPOLA ACCESS
PLAN NORTH



1 A27 SECOND LEVEL PLAN
3/16" = 1'-0"
INTERIOR FINISHES
PLAN NORTH

FINISH SCHEDULE

SPACE		FLOOR: CLEAN CONTINUOUS CONCRETE 1	FLOOR: OAK STRIP FLOORING 2	FLOOR: CARPET OVER MARBLE/TILE FLOORING 3	FLOOR: CERAMIC TILE 4	FLOOR: CLEAN & SEAL SUPER WEARER 5	WALLS: PATCH & PAINT PLASTER 1	WALLS: PAINTED GYPSUM BOARD 2	WALLS: PAINTED BRICK 3	WALLS: CERAMIC TILE WAINSCOT 4	WALLS: STAINED WOOD WAINSCOT 5	BASE: PAINT EXISTING 6	BASE: RESTEALLY PAINT EXISTING 1	BASE: NEW WOOD MATCH EXISTING 2	BASE: CERAMIC TILE 3	BASE: NONE 4	CEILING: REPAIR & REPAINT EXISTING 1	CEILING: PAINTED GYPSUM BOARD 2	CEILING: SUSPENDED ACOUSTICAL SYSTEM 3	CEILING: PAINTED EXPOSED STRUCTURE 4	NOTES
001	BURNAULT A	1										6				4				4	
003	BURNAULT B	1										6				4				4	
003	SERVICE AREA A					5						6				4				4	
004	SERVICE AREA B					5						6				4				4	
006	BASEMENT NORTH	1										6				4				4	
006	BASEMENT SOUTH	1										6				4				4	
007	STAIR C	1										6				4				4	
008	BASEMENT CENTER	1										6				4		2*		4	*OYP, BD. CEILING BELOW AREA OF REFUGE PER R.C.P.
009	UTILITY	1										6				4				4	
101	SAFE A	1										6				4	1				
102	STAIR A		3				1						1					2			STRIP, STAIN & POLYURETHANE TREADS, PAINT BALUSTRADE
103	VESTIBULE A		3				1	2*					1					2			*OYP, BD. @ S. WALL – SEE 1/A4.4
104	ELEVATOR MACHINE ROOM	1										6				4		2			
105	ELEVATOR																				SEE SPECS FOR CAB FINISHES
106A	WOMEN				4		1*	2		4					3				3		TILE WAINSCOT 54" HIGH; *PLASTER @ S. WALL
106B	STORAGE				4		1	2*							3			2			*OYP, BD. @ STUD WALLS
106C	MEN				4		1*	2		4					3				3		TILE WAINSCOT 54" HIGH; *PLASTER @ W. WALL
106D	STORAGE				4		1	2*							3			2			*OYP, BD. @ STUD & CMU WALLS
107	VESTIBULE B		3				1						1					2			
108	STAIR B		3				1						1					2			STRIP, STAIN & POLYURETHANE TREADS, PAINT BALUSTRADE
109	JANITOR				4		1	2*							3			2			*OYP, BD. @ STUD WALLS
110	BONNER		3				1*	2						3P				2			*PLASTER @ S. WALL
111	OFFICE & FILES		3				1						1					2			OYP, BD. @ CHASE WALLS
113	SAFE B	1										6				4	1				
113A	LOFT A (ABOVE)	1						2								4		2			
113	SAFE C	1										6				4	1				
114	CORRIDOR A		3				1						1					2			
115	SAFE D	1										6				4	1				
118	SAFE E	1										6				4	1				
116A	LOFT B (ABOVE)	1						2								4		2			
117	CLERK & MASTER DEPUTIES		3				1						1					2			OYP, BD. @ CHASE WALLS
118	FILES	1										6		3P				2			
119	CIRCUIT COURT CLERK		3				1	2*					1					2			*OYP, BD. @ STUD WALLS
120	CORRIDOR B		3				1*	2					1					2			*PLASTER @ MASONRY WALLS
121	CLERK AND MASTER		3				1	2*					1					2			*OYP, BD. @ STUD WALLS
123	STORAGE AND COPY ROOM	1										6		3P				2			
123	CIRCUIT COURT CLERK ASSISTANTS		3				1	2*					1					2			*OYP, BD. @ STUD WALLS
124	SECURE CORRIDOR C		3				1*	2					1					2			*PLASTER @ MASONRY WALLS
125	CLERK AND MASTER		3				1	2*					1					2			*OYP, BD. @ STUD WALLS
126	CIRCUIT COURT CLERK OFFICE		3				1	2*					1					2			*OYP, BD. @ STUD WALLS
127	CIRCUIT COURT CLERK OFFICE		3				1	2*					1					2			*OYP, BD. @ STUD WALLS
128	AREA OF REFUGE		3					2					1					2			
129	EAST PORCH				4																SEE 3/A4.4 FOR WALL & SOFFIT FINISHES
201	FOYER		3				1*	2					1					2			*PLASTER @ W. WALL
202	ELEVATOR																				SEE SPECS FOR CAB FINISHES
203	PUBLIC DEFENDER		3				1*	2					1					2			*PLASTER @ W. WALL
203A	MECH. ACCESS		3				1*	2	3			6*				4		2			*PLASTER @ W. WALL
203B	ATTY-CLIENT MEETING		3				1*	2					1					2			*PLASTER @ W. WALL
204	STAIR A		3				1						1					2			STRIP, STAIN & POLYURETHANE TREADS, PAINT BALUSTRADE
205	CORRIDOR C		3				1*	2					1					2			*PLASTER @ MASONRY WALLS
206	STAIR B		3				1						1					2			STRIP, STAIN & POLYURETHANE TREADS, PAINT BALUSTRADE
207	(NOT USED)																				
208	WOMEN				4		1*	2		4					3			2			TILE WAINSCOT 54" HIGH; *PLASTER @ N. WALL
209	HALL A		3				1*	2					1					2			*PLASTER @ MASONRY WALLS
210	HALL B		3				1*	2					1					2			*PLASTER @ MASONRY WALLS
211	MEN				4		1*	2		4					3			2			TILE WAINSCOT 54" HIGH; *PLASTER @ S. & N. WALLS
212	D.A. OFFICE		3				1	2*					1					2			*OYP, BD. @ STUD WALLS
212A	D.A. PRIVATE MEETING		3				1*	2					1					2			*PLASTER @ N. WALL
213	COURTROOM		3	3			1*	2			3			2S				2			WOOD WAINSCOT & PANELING PER A3.6 *PLASTER @ MASONRY WALLS
214	HOLDING CELL		3															2			SEE HOLDING CELL SPECS
214A	HALL C		3				1*	2					1					2			*PLASTER @ MASONRY WALLS
215	HOLDING CELL		3															2			SEE HOLDING CELL SPECS
215A	HOLDING AREA		3				1*	2					1					2			*PLASTER @ MASONRY WALLS
216	JURY ROOM		3				1*	2						2S				2			*PLASTER @ N., & E. WALLS
217	WOMEN TOILET				4			2		4					3			2			TILE WAINSCOT 54" HIGH
218	MEN TOILET				4			2		4					3			2			TILE WAINSCOT 54" HIGH
219	JUDGE TOILET				4			2		4					3			2			TILE WAINSCOT 54" HIGH
220	JUDGEY'S CHAMBER		3				1*	2						2S				2			*PLASTER @ S. & E. WALLS

NOTE: SEE SPECS FOR LOCATIONS OF TYPE X/X GYPSUM BOARD.
NOTE: MASONRY WALLS WITH ELECTRICAL DEVICES TO HAVE FURRED BASEBOARD – SEE SHEET A/6.1.
NOTE: SEE 1/A4.4 FOR TYPICAL CERAMIC TILE FLOOR & WAINSCOT DETAILS.

BREWER INGRAM FULLER Architects Inc.

Loudon County Courthouse

RENOVATION PHASE 2

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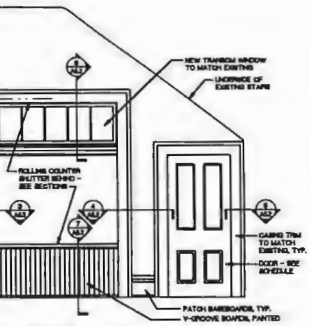
FINISH SCHEDULE

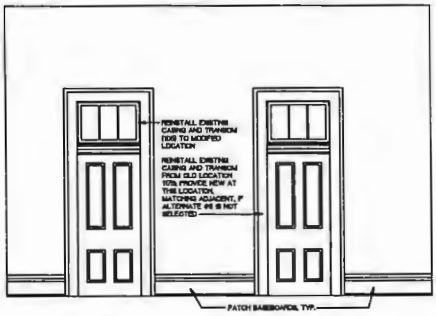
PRELIMINARY - NOT FOR CONSTRUCTION

5/28/2022
DESIGN DEVELOPMENT PROGRESS PRINT FOR REVIEW
BIFA PROJECT NUMBER

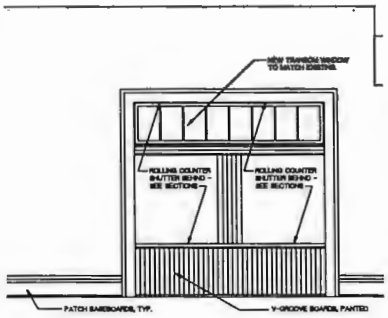
A2.8



ERIOR ELEVATION
1-0" OPENINGS AT 117

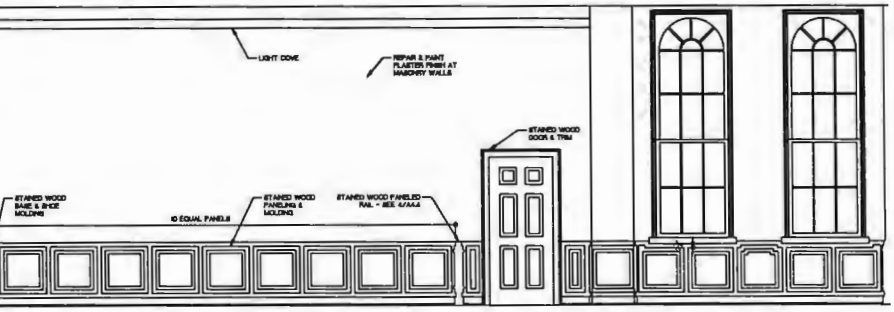


2 A3.8 INTERIOR ELEVATION
3/4"= 1'-0" DOORWAYS AT 107

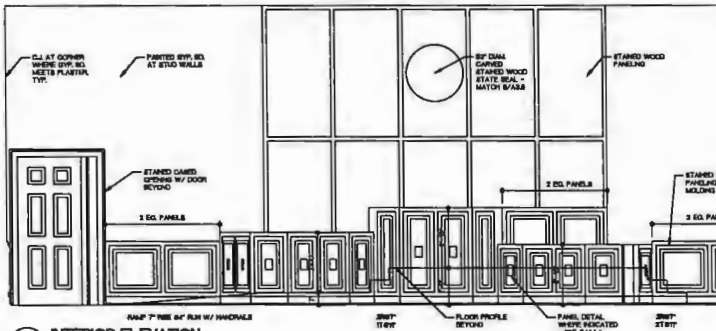


3 A3.8 INTERIOR ELEVATION
3/4"= 1'-0" OPENING AT 120

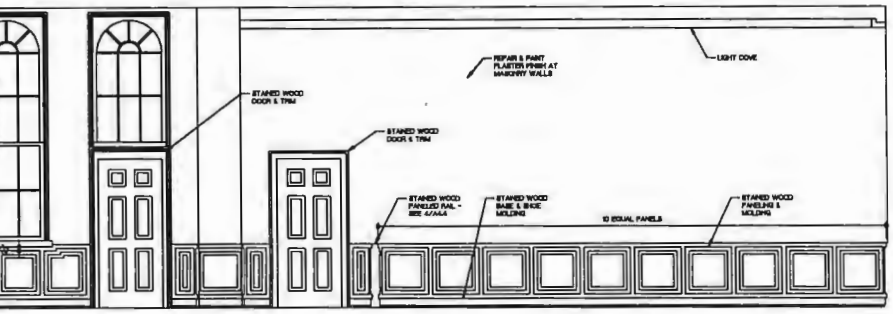
8 A3.8 SEAL DETAIL



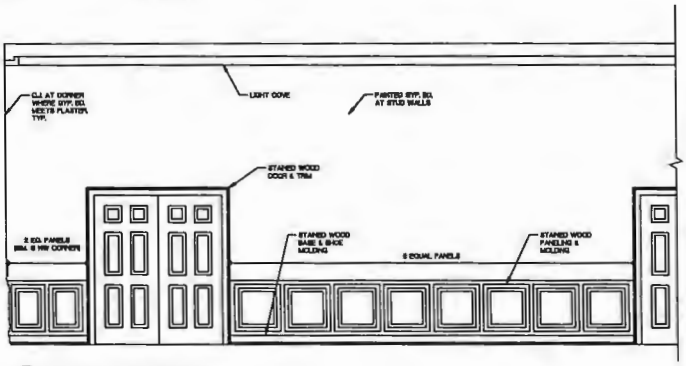
TERIOR ELEVATION
1-0" COURTROOM NORTH WALL



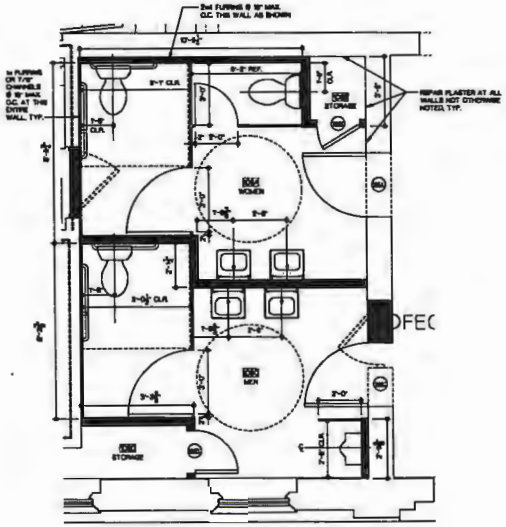
5 A3.8 INTERIOR ELEVATION
3/4"= 1'-0" COURTROOM EAST WALL



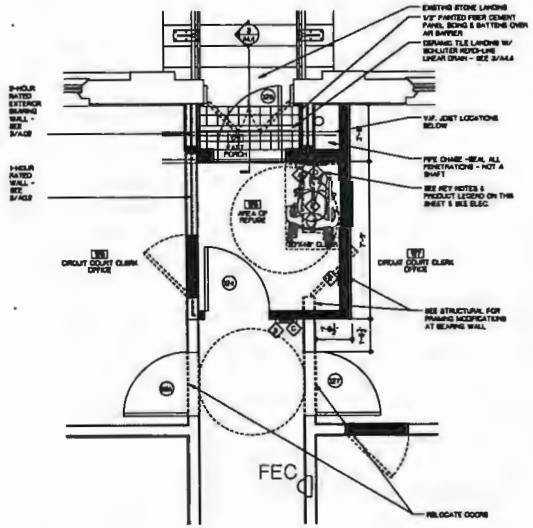
TERIOR ELEVATION
3/4"= 1'-0" COURTROOM SOUTH WALL



7 A3.8 INTERIOR ELEVATION
3/4"= 1'-0" COURTROOM WEST WALL



1 A3.9 ENLARGED PLAN
1/4" = 1'-0"
TOILETS



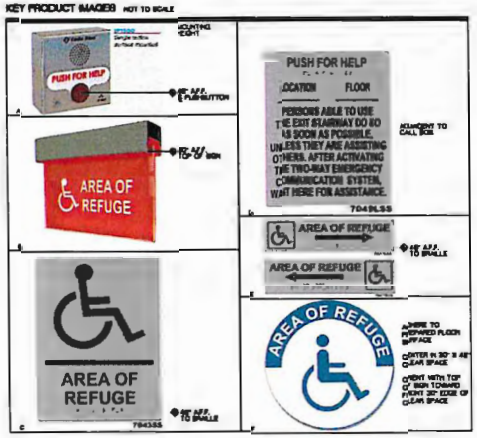
2 A3.9 ENLARGED PLAN
1/4" = 1'-0"
AREA OF REFUGE CODE ALTERNATE

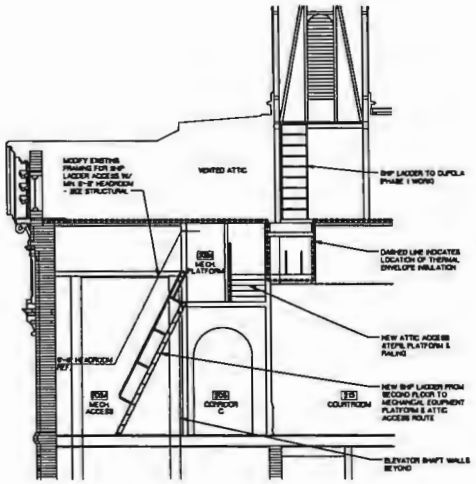
KEY NOTES - AREA OF REFUGE	
A	SURFACE MOUNTED CALL BOX - SEE ELEC.
	FOR EXACT PRODUCT INFORMATION
B	WALL MOUNTED ILLUMINATED SIGN - SEE ELEC.
	FOR EXACT PRODUCT INFORMATION
C	TACTILE SIGN - 8"H X 8"W - STAINLESS STEEL
	PATH COMMUNICATION - SIGN NO. 704386
D	INSTRUCTIONAL SIGN - 12"H X 12"W - STAINLESS STEEL
	PATH COMMUNICATION - SIGN NO. 704386
E	DIRECTIONAL SIGN - 4"H X 12"W - STAINLESS STEEL
	PATH COMMUNICATION - SIGN NO. 704 71, 86-1166
F	SLIP-RESISTANT FLOOR DECAL - 2" DIA. TEXTURED VINYL
	PATH COMMUNICATION - SIGN NO. 704 6
*	WWW.PATH-COMMUNICATION.COM
	EQUAL SIGN PRODUCTS MAY BE SUBMITTED FOR APPROVAL

OTHER LOCATIONS

1. INSTALL 3 AT ROOM 103 & 1 AT ROOM 107 WHERE DIRECTED BY ARCHITECT.
2. INSTALL 1 AT CORRIDOR 100 WHERE DIRECTED BY ARCHITECT.

KEY PRODUCT IMAGES NOT TO SCALE





3 A3.9 DETAIL SECTION
3/8" = 1'-0"
5HP LADDER TO MECH. PLATFORM

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Loudon County Courthouse

RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

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ENLARGED PLANS AND DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION

10/28/2022
DESIGN DEVELOPMENT PROGRESS PRINT FOR REVIEW
2014 PROJECT NUMBER

A3.9

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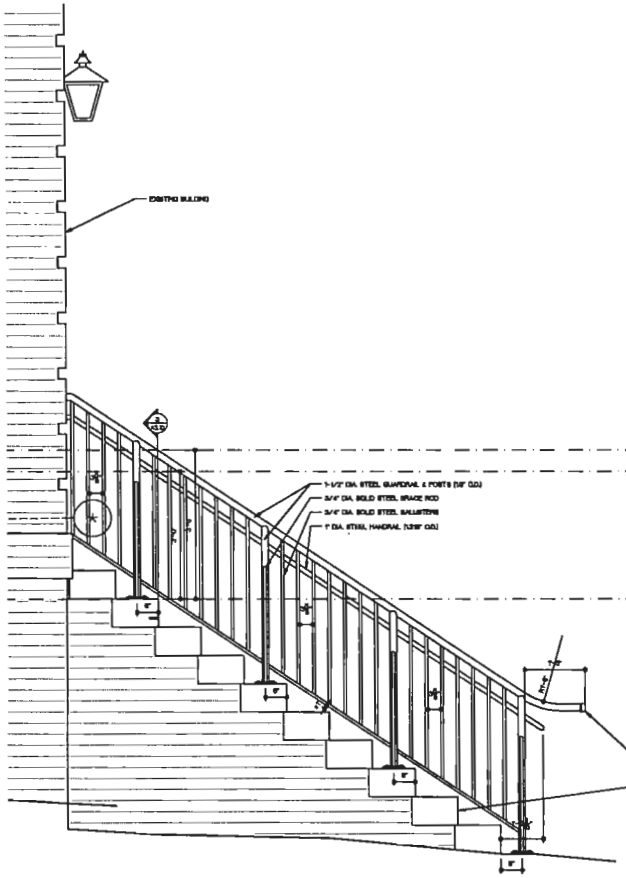
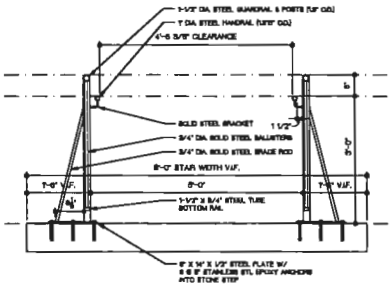
RENOVATION PHASE 1

NOTES

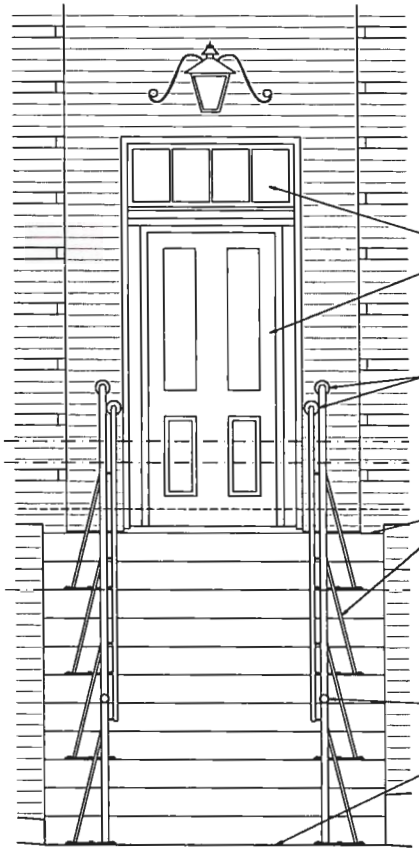
1. SEE SHEET A3.1 FOR GENERAL NOTES & GENERAL RESTORATION NOTES.



1 A3.10 SOUTH ELEVATION
3/4"= 1'-0"
EXTERIOR STAIR FROM DOOR 124



3 A3.10 SECTION
3/4"= 1'-0"
EXTERIOR STAIR RAILING DETAIL



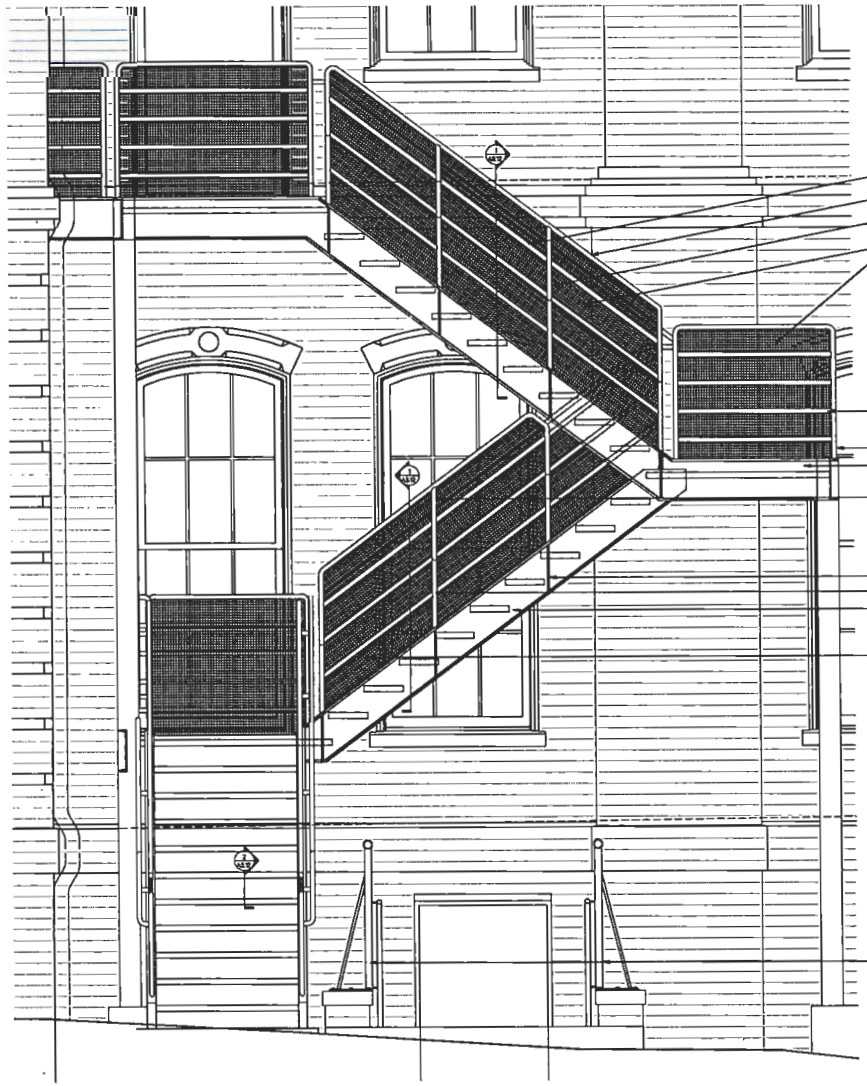
2 A3.10 EAST ELEVATION
3/4"= 1'-0"
EXTERIOR STAIR FROM DOOR 124

REMOVE EXISTING HANDRAIL & PATCH STONE STEPS W/ MATCHING EPOXY PATCHING COMPOUND - ADD NEW RAILS ON BOTH SIDES OF STEPS AS INDICATED - FULLY WELDED & GROUND SMOOTH - SHOP POWDER COAT ALL RAILING ASSEMBLIES AFTER FABRICATION

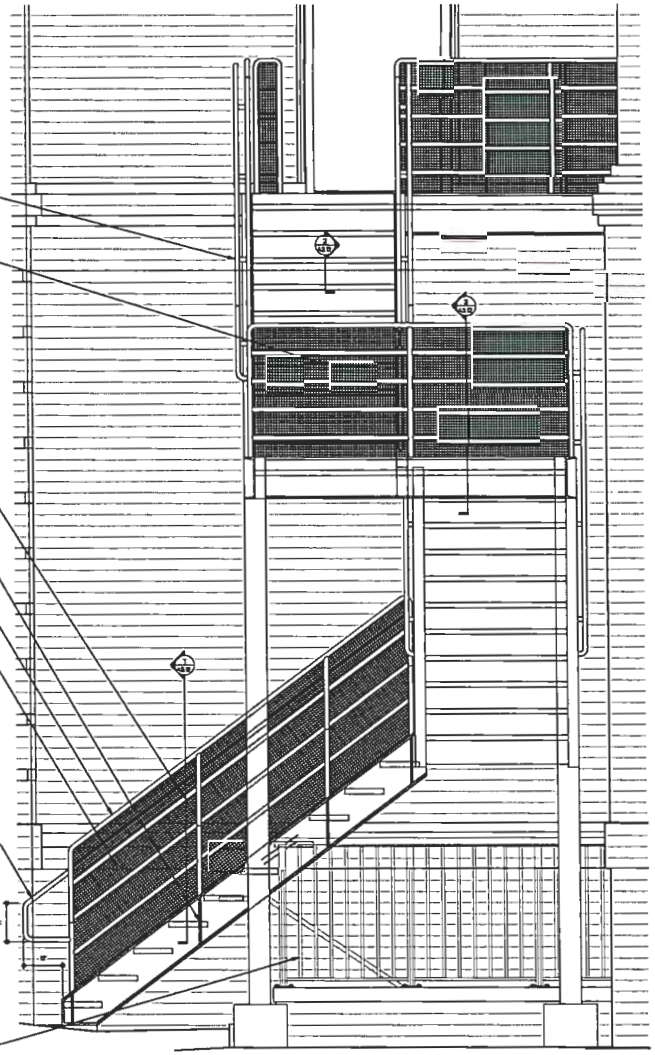
ENLARGED ELEVATIONS

05/26/2021
FOR ESTIMATING, PERMIT & CONSTRUCTION
BCN PROJECT NUMBER

A3.10



1 A3.11 SOUTH ELEVATION
3/4"= 1'-0" EXTERIOR STAIRCASE



2 A3.11 EAST ELEVATION
3/4"= 1'-0" EXTERIOR STAIRCASE

BREWER INGRAM FULLER Architects Inc.

Loudon County Courthouse

RENOVATION PHASE 2

NOTES

1. SEE SHEET A3.1 FOR GENERAL NOTES & GENERAL RESTORATION NOTES.
2. SANDBLAST EXISTING EXTERIOR STEEL COMPONENTS PRIOR TO WELDING & PRIMING.
3. FIELD WELDS TO BE REVIEWED BY TESTING COMPANY.

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

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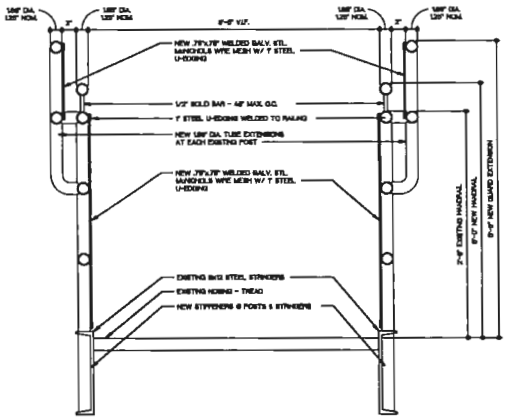
ENLARGED ELEVATIONS

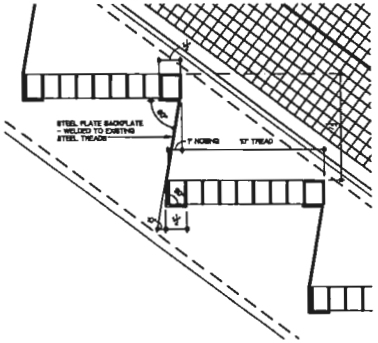
PRELIMINARY - NOT FOR CONSTRUCTION

10/28/2021
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
BIFA PROJECT NUMBER

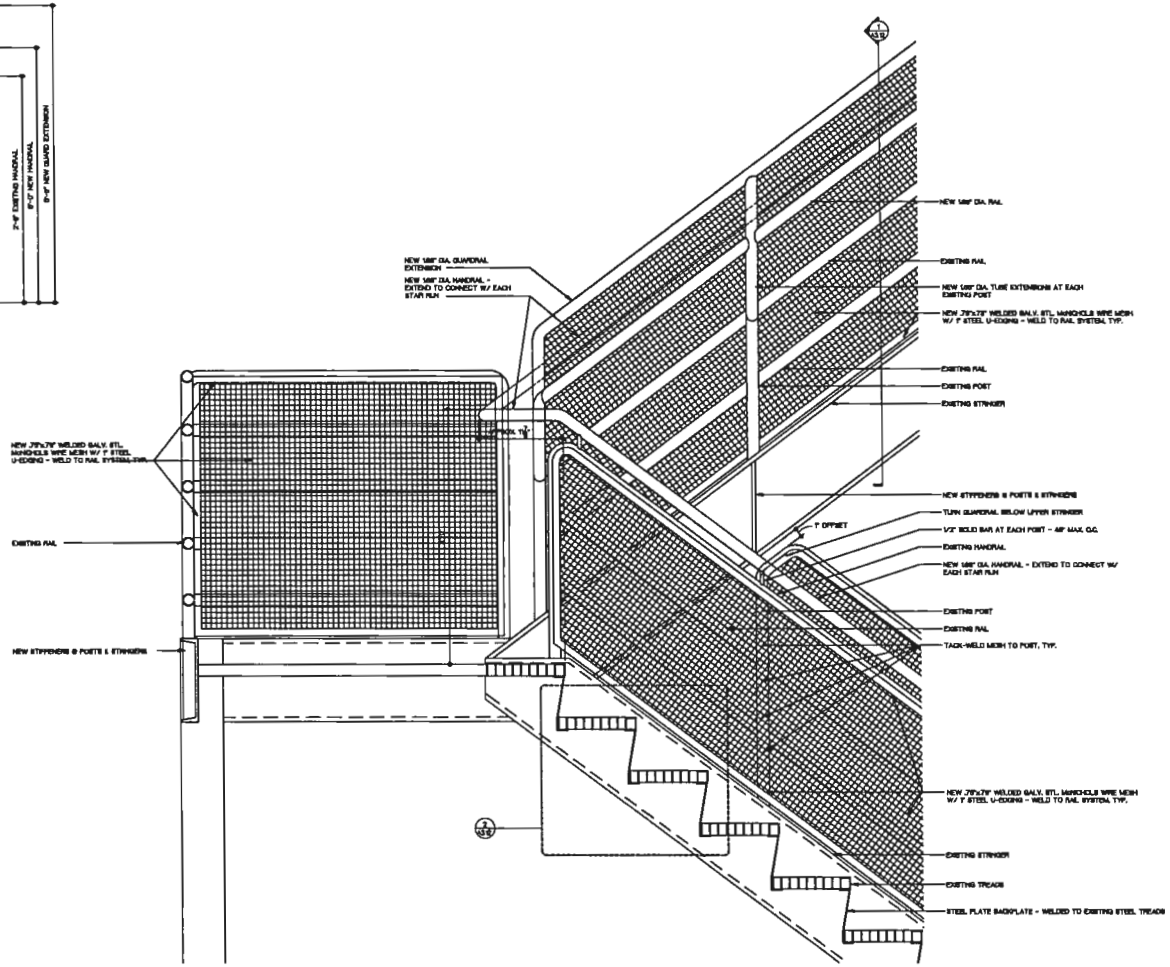
A3.11



1 A3.12 RAILING DETAIL
1-1/2"= 1'-0" EXTERIOR STAIRCASE



2 A3.12 TREAD DETAIL
2"= 1'-0" EXTERIOR STAIRCASE



3 A3.12 INNER RAILING ELEVATION
1-1/2"= 1'-0" EXTERIOR STAIRCASE

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Loudon County Courthouse

RENOVATION PHASE 2

NOTES

1. SEE SHEET A3.1 FOR GENERAL NOTES & GENERAL RESTORATION NOTES.
2. SANDBLAST EXISTING EXTERIOR STEEL COMPONENTS PRIOR TO WELDING & PRIMING.
3. FIELD WELDS TO BE REVIEWED BY TESTING COMPANY.

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

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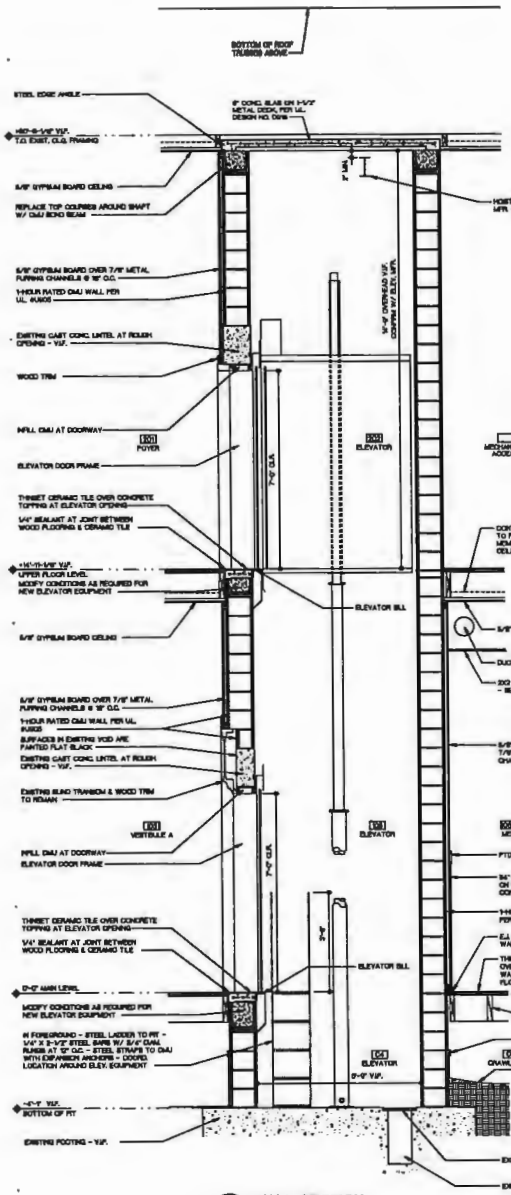
ENLARGED ELEVATIONS + DETAILS

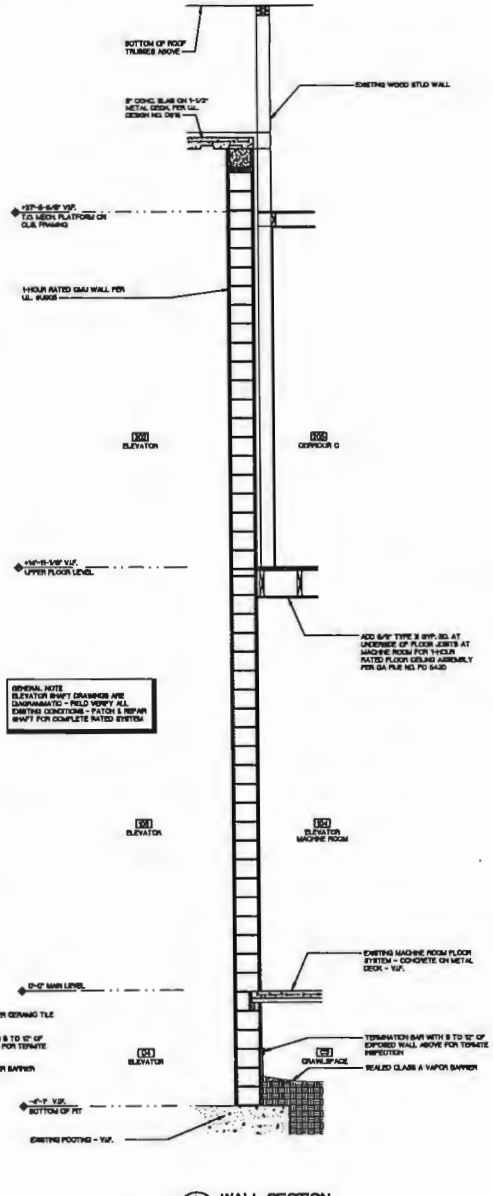
PRELIMINARY - NOT FOR CONSTRUCTION

10/26/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
20% PROJECT NUMBER

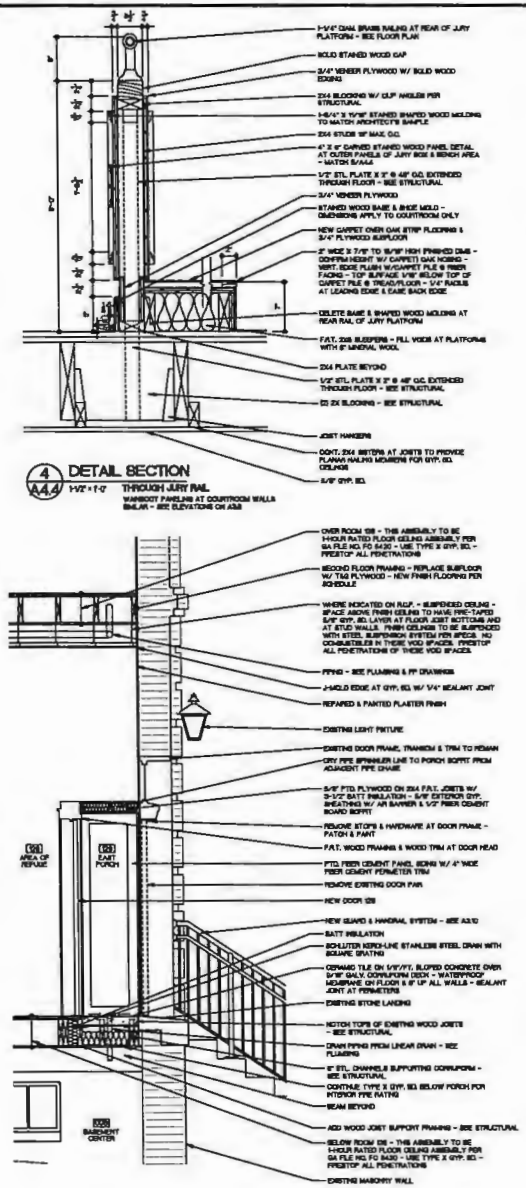
A3.12



1 A4.4 WALL SECTION 1/2" = 1'-0" THROUGH ELEVATOR



2 A4.4 WALL SECTION 1/2" = 1'-0" THROUGH ELEVATOR AND MACHINE ROOM



4 A4.4 DETAIL SECTION 1-1/2" = 1'-0" THROUGH JURY RAIL

WAINSCOT PANELING AT COURTROOM WALLS SIMILAR - SEE ELEVATIONS ON A3.0

3 A4.4 WALL SECTION 1/2" = 1'-0" THROUGH DOOR 129

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Loudon County Courthouse

RENOVATION PHASE 2

5 A4.4 PANEL DETAIL AT OUTER PANELS JURY + BENCH AREAS

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

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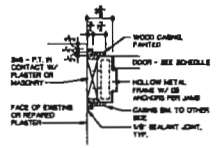
WALL SECTIONS

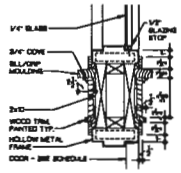
PRELIMINARY - NOT FOR CONSTRUCTION

10/28/2022
DESIGN DEVELOPMENT PROGRESS PRINT FOR REVIEW
2014 PROJECT NUMBER

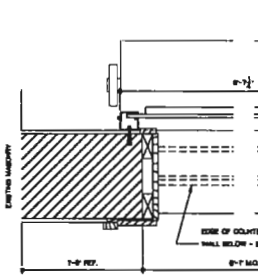
A4.4



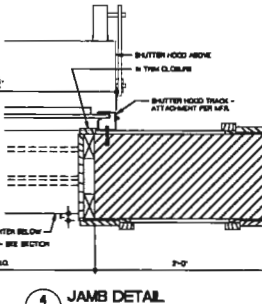
1 A5.2 JAMB DETAIL
1"=1'-0" HEAD SIM.



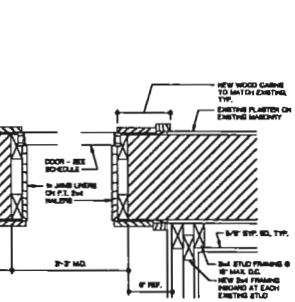
2 A5.2 HEAD/SILL DETAIL
1"=1'-0"



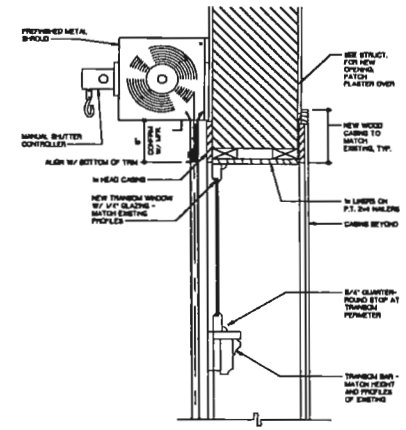
3 A5.2 JAMB DETAIL
1"=1'-0" COUNTER SHUTTER AT 117



4 A5.2 JAMB DETAIL
1"=1'-0" COUNTER SHUTTER AT 117



5 A5.2 JAMB DETAIL
1"=1'-0" CORNER OF 108



6 A5.2 HEAD DETAIL
1"=1'-0" AT SHUTTER

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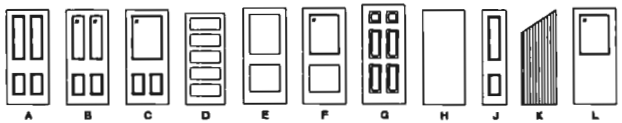
Loudon County Courthouse

RENOVATION PHASE 2

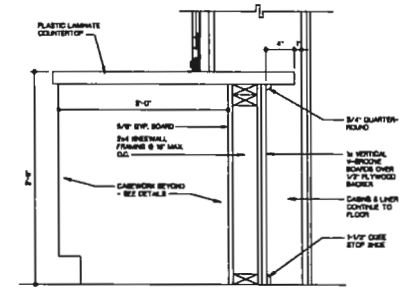
DOOR TYPES



DOOR SCHEDULE

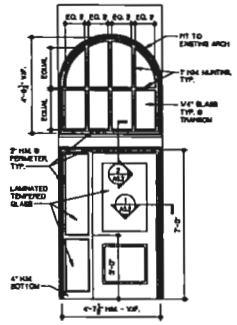
MARK (SEE NOTE 1.)	MARK (SEE NOTE 2.)		ORIGIN	SEE NOTE 3. WIDTH	HEIGHT	THICKNESS	DOOR TYPE	CASING TYPE	DOOR MATERIAL	FRAME MATERIAL	HAND	DOOR NOTES	INSTRUCTIONS
	008		NEW	36"	84"	1-3/4"	H	--	HM	HM	LH		
EXISTING	101						SAFE	--	SAFE	SAFE			REPAIR & LUBRICATE FOR PROPER OPERATION - CLEAN AND REPAINT
EXISTING	103	PAIR		36"	102"	1-5/8"	EXT-1	--	WD	WD	LH/RH	NEW AUTOMATIC OPERATOR	RESTORE AND REPAINT
	104		NEW	36"	84"	1-3/4"	H	--	HM	HM	LHR	60-MIN RATING	
X105													RELOCATE TO 105
	105A		REUSE X210	28-1/2"	83-1/2"	1-1/2"	A	2/A3.6	WD	WD	RH		RESTORE AND REPAINT
	105B		NEW	34"	83-1/2"	1-3/4"	J		WD	WD	RH/R		
	105C		NEW TO MATCH X210	28-1/2"	83-1/2"	1-1/2"	A	2/A3.6	WD	WD	LH		
	105D		NEW	34"	83-1/2"	1-3/4"	J		WD	WD	LHR		
EXISTING	107	PAIR		36"	102"	1-5/8"	EXT-1	--	WD	WD	LH/RH		RESTORE AND REPAINT
	108		NEW	32"	IRREGULAR	1-1/2"	K	NONE	WD	WD	LHR	NEW DOOR OF 2 LAYER 3/4" BEADED BOARD, CRTNST, AND HDWZ BRACED AT REAR. SET BACK REAR LAYER TO LAP STOPS AT JAMB. DOOR TO FINISH FLUSH WITH BEADBOARD WALL.	
X110	110			30-1/4"	79-1/4"	1-3/8"	G		WD	WD	RH/R		RESTORE AND REPAINT
EXISTING	110A	PAIR		31"	88"	1-5/8"	EXT-2	--	WD	WD	LH/RH		RESTORE AND REPAINT
X115	115			28"	83-1/2"	1-1/2"	B	--	WD	WD	RH	REPAIR DAMAGE TO BOTTOM	RESTORE AND REPAINT
EXISTING	116						SAFE	--	SAFE	SAFE			REPAIR & LUBRICATE FOR PROPER OPERATION - CLEAN AND REPAINT
EXISTING	113						SAFE	--	SAFE	SAFE			REPAIR & LUBRICATE FOR PROPER OPERATION - CLEAN AND REPAINT
EXISTING	119						SAFE	--	SAFE	SAFE			REPAIR & LUBRICATE FOR PROPER OPERATION - CLEAN AND REPAINT
EXISTING	118						SAFE	--	SAFE	SAFE			REPAIR & LUBRICATE FOR PROPER OPERATION - CLEAN AND REPAINT
EXISTING	117A	PAIR		31"	88"	1-5/8"	EXT-2	--	WD	WD	LH/RH		RESTORE AND REPAINT
X117B													RELOCATE TO 218
	117B		REUSE X108	36"	83-3/4"	1-1/8"	B	V/A3.6	WD	WD	RH		RESTORE AND REPAINT
	118A		NEW	36"	VIF.	1-3/4"	E	--	WD	HM	RH		
	118B		NEW	36"	VIF.	1-3/4"	E	--	WD	HM	RH		
X119												EXISTING DOOR IS TOO DAMAGED TO REUSE. REPLACE TO MATCH EXISTING. IF ALT. NO. 5 IS SELECTED, INCLUDE CREDIT FOR NOT REPLACING DOOR.	
	119		NEW	36"	84"	1-3/4"	F	SEE A5.2	WD	HM	RH	UNLOCKS WITH FIRE ALARM	
X121												EXISTING DOOR IS TOO DAMAGED TO REUSE. REPLACE TO MATCH EXISTING AT SAME OPENING	
	121		NEW	36"	84"	1-3/4"	F	--	WD	HM	LH		
X123A												EXISTING DOOR IS TOO DAMAGED TO REUSE. REPLACE.	
	123A		NEW	36"	VIF.	1-3/4"	E	--	WD	HM	LH		
	123B		NEW	36"	VIF.	1-3/4"	E	--	WD	HM	LH		
X123	123			36"	82"	1-3/4"	F	--	WD	WD	LH	REMOVE GLASS FOR REUSE AT 203. PROVIDE NEW CLEAR TEMPERED GLASS.	RESTORE AND REPAINT
	124		NEW	36"	84"	1-3/4"	H	SEE XXX	HM	HM	LH	60-MIN RATING	
	124A		NEW	36"	84"	1-3/4"	F	--	WD	WD	RH		
	124B		NEW - SEE NOTE	36"	84"	1-3/4"	E	--	WD	WD	RH	IF ALT. NO. 4 IS SELECTED, INCLUDE CREDIT FOR NOT REPLACING DOOR.	
X125A	125A			36"	82"	1-3/8"	E	MATCH 123	WD	WD	LH		RELOCATE EXISTING CASING. RESTORE AND REPAINT
	125B		NEW - SEE NOTE	36"	84"	1-3/4"	E	--	WD	WD	LH	IF ALT. NO. 4 IS SELECTED, INCLUDE CREDIT FOR NOT REPLACING DOOR.	
X127	127			36"	82"	1-3/8"	E	MATCH 123	WD	WD	RH	EXISTING DOOR MAY BE LABELED "123"	RELOCATE EXISTING CASING. RESTORE AND REPAINT
	128		NEW	36"	84"	1-3/4"	L		HM	HM	RH		
EXISTING	132						F	--	WD			EXISTING DOOR IS FIXED IN PLACE.	REPLACE BROKEN GLASS WITH VENEER PLYWOOD PANEL. RESTORE AND REPAINT.
X203	203			36"	84"	1-3/4"	F	--	WD	WD	RH		INSTALL GLASS FROM X123. RESTORE AND REPAINT
	203A		NEW	36"	84"	1-3/4"	H	NONE	HM	HM	LHR		
	203B		NEW	36"	84"	1-3/4"	E	MATCH 203	WD	WD	RH		
X207													TURN OVER UNUSED DOOR TO OWNER.
X208													RELOCATE TO 218
	208		NEW	36"	84"	1-3/4"	A	MATCH 218	WD	WD	LH		
	211		NEW	36"	84"	1-3/4"	A	MATCH 218	WD	WD	RH		
X219													RELOCATE TO 226A
	219		REUSE X107B	36"	83-1/2"	1-1/2"	C	SEE INSTR.	WD	WD	RH		RELOCATE EXISTING CASING. REPAINT AND RESTORE.
	219A		NEW	36"	84"	1-3/4"	A	MATCH 218	WD	WD	LH		
	219B		NEW	36"	84"	1-3/4"	G	SEE A3.6	WD	WD	RH	UNPAINTED	
	219A	PAIR	NEW	36"	84"	1-3/4"	G	SEE A3.6	WD	WD	LH/RH	UNPAINTED	
	219B	PAIR	NEW	36"	84"	1-3/4"	G	SEE A3.6	WD	WD	LH/RH	UNPAINTED	
EXISTING	219C			36"	84"	1-3/4"	H	SEE A3.6	HM	HM	RH		
	214			36"	84"	1-3/4"	A	MATCH 218	WD	WD	LH		
X216A	216A			32"	79-5/8"	1-3/8"	A	--	WD	WD	LH	DMT DOOR AS PART OF ALT. NO. XXX	RESTORE AND REPAINT, ON TURN OVER TO OWNER AS PART OF ALT NO. XXX
	216B		NEW - SEE NOTE	36"	84"	1-3/4"	H	--	HM	HM	RH	PROVIDE ONLY AS PART OF ALT. NO. XXX	
	216C		NEW	36"	84"	1-3/4"	G	SEE A3.6	WD	WD	LH	UNPAINTED	
	216		NEW	36"	84"	1-3/4"	G	SEE A3.6	WD	WD	LH	UNPAINTED	
	217		NEW	36"	80"	1-3/4"	E	MATCH 123	WD	WD	LH		
	218		NEW	36"	80"	1-3/4"	E	MATCH 123	WD	WD	RH		
	219		REUSE X208	32"	80"	1-3/4"	E	MATCH 123	WD	WD	LHR		RESTORE AND REPAINT
	220		NEW	36"	84"	1-3/4"	G	SEE A3.6	WD	WD	RH	UNPAINTED	
3-NOT MARKED												EXISTING DOOR IS TOO DAMAGED TO REUSE.	

NOTE 1. THIS COLUMN REFERS TO DOORS IN STORAGE BY THE COUNTY, PREVIOUSLY REMOVED FROM THE BUILDING. THEY ARE LABELED BY OLD OPENING NUMBER, LISTED HERE WITH AN "X" PREFIX. DOORS MARKED "EXISTING" ARE EXISTING IN PLACE IN THE LOCATION WHERE THEY WILL REMAIN LOCATED. RESTORE PER SPECIFICATIONS.
NOTE 2. THIS COLUMN REFERS TO DOOR NUMBERS SHOWN ON SHEETS A2.1, A2.2, AND A2.3 - RENOVATION LOCATIONS.
NOTE 3. DIMENSIONS MARKED FOR EXISTING DOORS ARE DOOR SLAB DIMENSIONS, NOT NOMINAL. WHERE NEW DOORS ARE SCHEDULED TO MATCH EXISTING DOORS, THE INTENT IS THAT THE SLAB DIMENSIONS MATCH WHAT IS GIVEN. ALLOW STANDARD MARGINS FOR DOOR OPERATION. FOR ALL LOCATIONS WHERE EXISTING DOORS ARE BEING PLACED IN NEW OPENINGS, CONFIRM DIMENSIONS WITH STORED DOOR SLABS.



7 A5.2 COUNTER DETAIL
1"=1'-0" AT SHUTTER

NEW OPENINGS



NEW-1

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

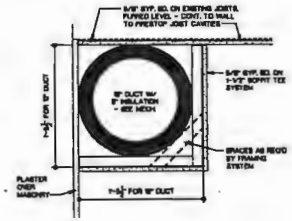
THESE DRAWINGS ARE INTENDED TO ILLUSTRATE GENERALLY THE PROPOSED SCOPE AND QUALITY OF THE PROJECT AND TO ASSIST IN OBTAINING A PRELIMINARY ESTIMATE OF CONSTRUCTION COST. THESE DOCUMENTS ARE NOT INTENDED FOR CONSTRUCTION, NOR ARE THEY INTENDED TO BE COMPLETE OR FULLY DETAILED. THEY CONTAIN A LEVEL OF INCONSISTENCY COMMON TO PROGRESS DRAWINGS AT THE DESIGN DEVELOPMENT STAGE. THE FINAL CONSTRUCTION DOCUMENTS WILL MODIFY SOME OF THE INFORMATION CONTAINED HEREIN BASED ON ARCHITECTURAL REQUIREMENTS, DEVELOPMENT OF BUILDING SYSTEMS, OWNER CHANGES, AND COORDINATION OF INFORMATION.

OPENINGS

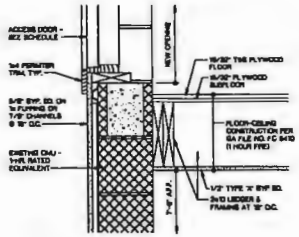
PRELIMINARY - NOT FOR CONSTRUCTION

10/25/2023
DESIGN DEVELOPMENT PROGRESS PRINT FOR REVIEW
BIM PROJECT NUMBER

A5.2



1 A5.3 DUCT SOFFIT DETAIL
1-1/2" = 1'-0"



2 A5.3 LOFT FLOOR DETAIL
1-1/2" = 1'-0"

BREWER INGRAM FULLER Architects Inc.

Loudon County Courthouse

RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS
NOT FOR CONSTRUCTION

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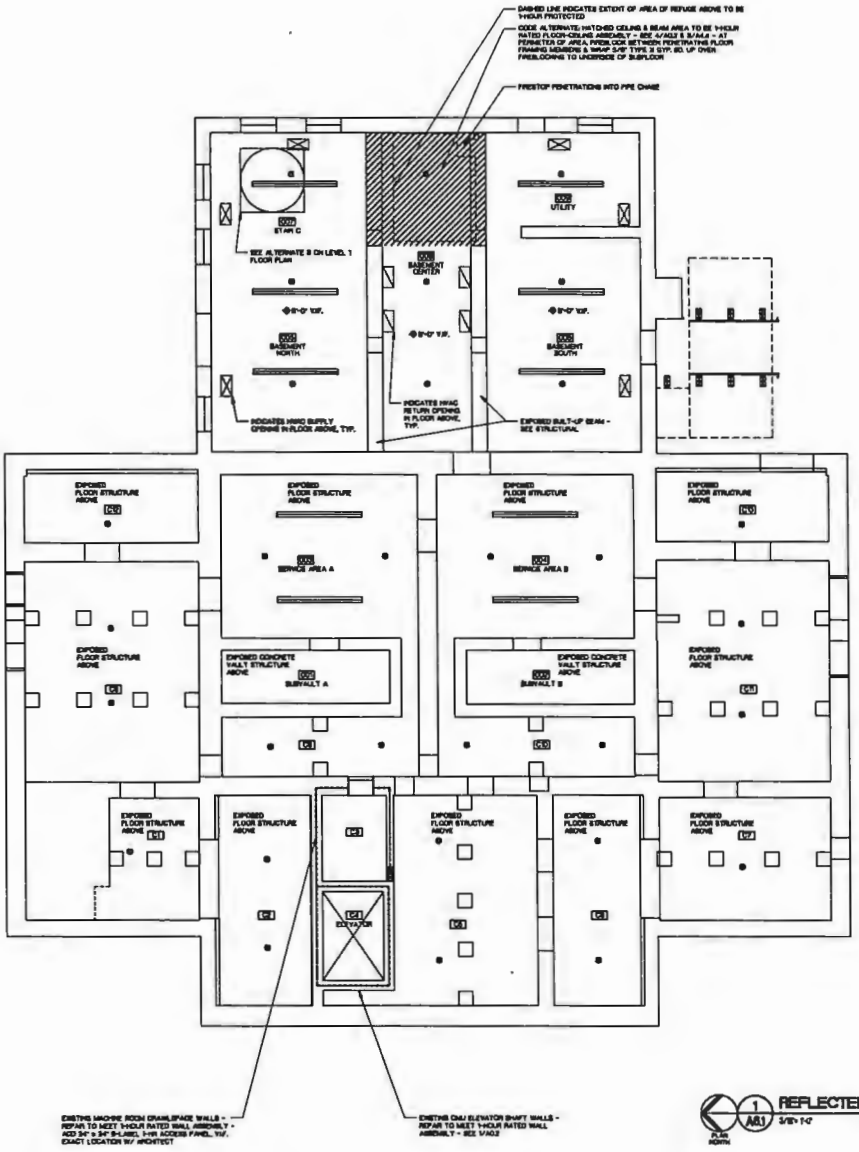
INTERIOR DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION

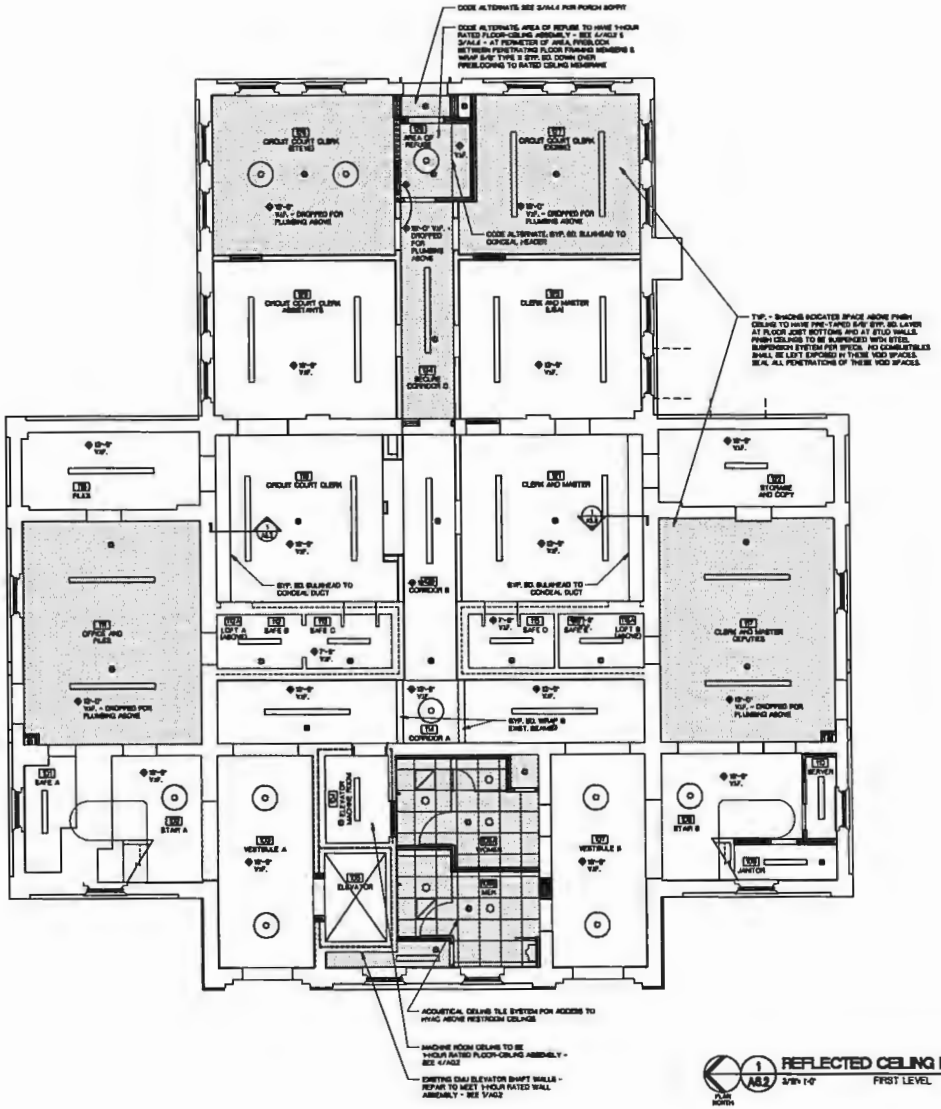
[illegible]
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
[illegible] PROJECT NUMBER

A5.3



1 A01 REFLECTED CEILING PLAN

3/32"= 1'-0" BASEMENT LEVEL



1 A6.2 REFLECTED CEILING PLAN
3/16" 1'-0" FIRST LEVEL

BREWER INGRAM FULLER Architects Inc.

Loudon County Courthouse

RENOVATION PHASE 2

REFLECTED CEILING PLAN NOTES

1. THIS DRAWING IS FOR THE GENERAL LOCATION, PLACEMENT, AND COORDINATION OF CEILING PLAN NOTES, LIGHTING AND MECHANICAL FIXTURES. SOME FIXTURES ARE NOT CONTROL ON SHOWN - SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR COMPLETE FIXTURE INFORMATION AND PARTICULAR DETAILS. CONSTRUCTION SHALL COORDINATE THE FLOOR-CEILING SYSTEM WITH THE MECHANICAL AND ELECTRICAL.
2. UNLESS NOTED OTHERWISE, ALL CEILINGS ARE 5/8" SYP. SYSTEM BEING DO NOT TEXTURE CEILING FINISH. USE TYPE "X" 5/8" SYP. BOARD AT CEILING TO HAVE A FIRE RATING IF INDICATED.
3. BLOCK FOR CEILING MOUNTED EQUIPMENT.
4. PROVIDE FLOAT FRAMING FOR CEILING - SUPPORT SYP. AT JOIST BOTTOMS WHEN SHOWN.

REFLECTED CEILING PLAN LEGEND

9'-0" INDICATES FLOOR SURFACE OF CEILING, DRAWINGS, SIN WORK ABOVE FINISHED FLOOR

MECHANICAL

AIR SUPPLY - SEE MECHANICAL SHEET FOR SCHEDULE

AIR RETURN - SEE MECHANICAL SHEET FOR SCHEDULE

SPRINKLER 2 PIN - SEE MECHANICAL SHEET FOR SCHEDULE

SPRINKLER HEAD - SHOWN CONCEPT LOCATION - SEE FP DRAWINGS FOR INFORMATION

ELECTRICAL

2 LED FIXTURE

2 LED FIXTURE

SURFACE MOUNTED LED

RECESSED LED EQUIVALENT

PENDANT MOUNTED LED

CHANDELIER

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

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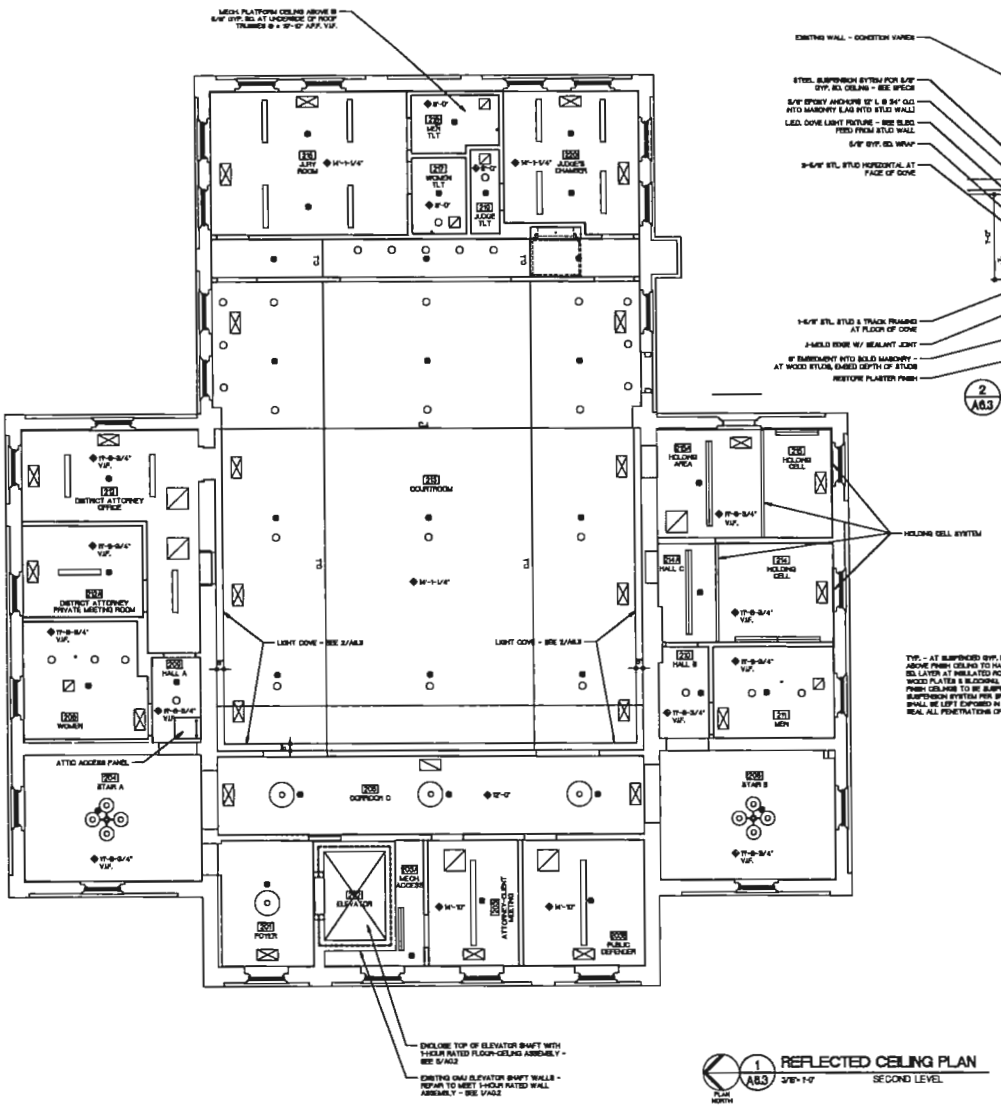
FIRST LEVEL
REF. CEILING PLAN

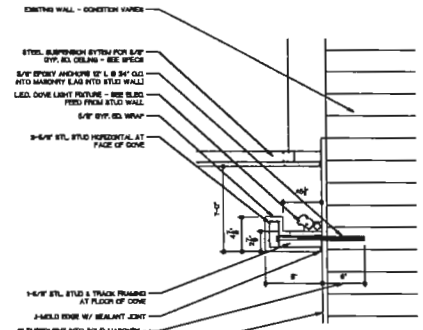
PRELIMINARY - NOT FOR CONSTRUCTION

10/29/2013
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
BIFM PROJECT NUMBER

A6.2



TYP. - AT SUSPENDED GYP. BD. CEILINGS - SPACE ABOVE FINISH CEILING TO HAVE FIRE-TAPED 5/8" GYP. BD. LAYER AT INSULATED ROOF TRUSS BOTTOMS, AT WOOD PLATES & BLOCKING, AND AT STUD WALLS. FINISH CEILINGS TO BE SUSPENDED WITH STEEL SUSPENSION SYSTEM PER SPECS. NO COMBUSTIBLES SHALL BE LEFT EXPOSED IN THESE VOID SPACES. SEAL ALL PENETRATIONS OF THESE VOID SPACES.



2 A6.3 LIGHT COVE DETAIL
1-1/2" = 1'-0" COURTROOM

1 A6.3 REFLECTED CEILING PLAN
3/16" = 1'-0" SECOND LEVEL

PLAN NORTH

BREWER INGRAM FULLER Architects Inc.

London County Courthouse

RENOVATION PHASE 2

REFLECTED CEILING PLAN NOTES

1. THE DRAWING IS FOR THE GENERAL LOCATION, PLACEMENT, AND COORDINATION OF CEILING FEATURES. LIGHTING AND MECHANICAL FIXTURES SHOWN FIXTURES ARE NOT CENTERED ON SHOWN - SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR EXACT FIXTURE WALL DIMENSIONS. THE CONTRACTOR SHALL COORDINATE WITH ELECTRICAL AND MECHANICAL THE PLACEMENT OF ALL FIXTURES FROM THE VARIOUS TRADES INVOLVED.
2. UNLESS NOTED OTHERWISE, ALL CEILINGS ARE TO BE 5/8" GYPSUM BOARD. DO NOT TEXTURE CEILING FINISH. USE TYPE 'X' 5/8" GYP. BOARD AT CEILINGS TO PROVIDE A FIRE RATING IF INDICATED.
3. ALIGN FOR CEILING MOUNTED EQUIPMENT.
4. PROVIDE FLOWER FRAMES PER CEILINGS - SUPPORT BEAMS AT JOIST BOTTOMS WHERE REQUIRED.

REFLECTED CEILING PLAN LEGEND

◆12'-0"
INDICATES CLEAR HEIGHT OF CEILING, BULKHEAD OR SOFFIT ABOVE FINISHED FLOOR

MECHANICAL

AIR SUPPLY - SEE MECHANICAL DWGS FOR SCHEDULE

AIR RETURN - SEE MECHANICAL DWGS FOR SCHEDULE

EXHAUST FAN - SEE MECHANICAL DWGS FOR SCHEDULE

SPRINKLER HEAD - DESIGN CONCEPT LOCATION - SEE FP DRAWINGS FOR INFORMATION

ELECTRICAL

4' LED FIXTURE

4' LED FIXTURE

SURFACE MOUNTED LED

RECESSED LED DOWNLIGHT

PENDANT MOUNTED LED

CHANDELIER

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

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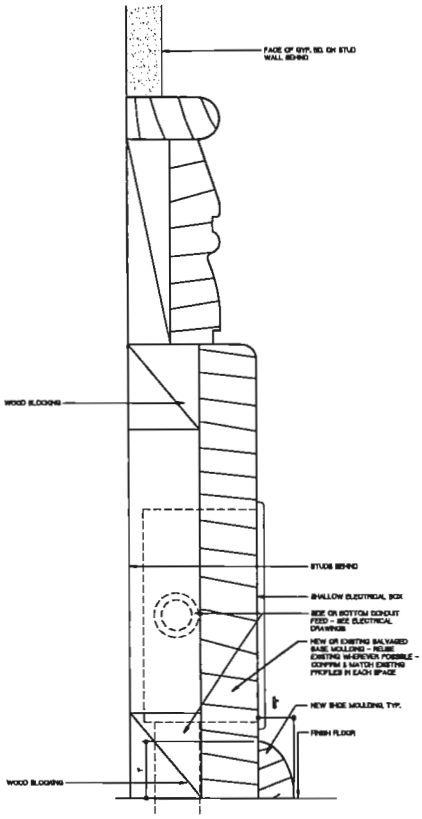
SECOND LEVEL REF. CEILING PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

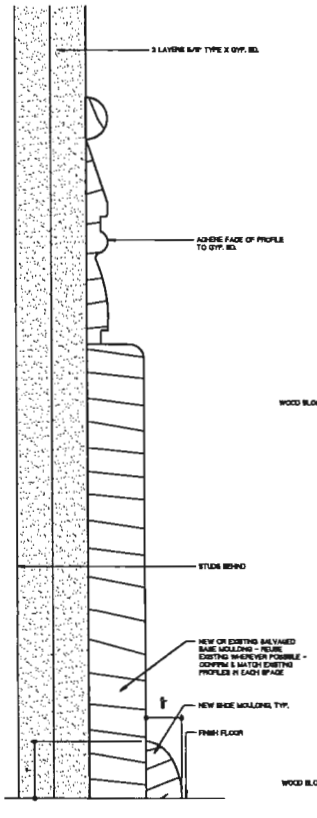
10/28/2022
DESIGN DEVELOPMENT PROGRESS PRINT FOR REVIEW
2014 PROJECT NUMBER

A6.3



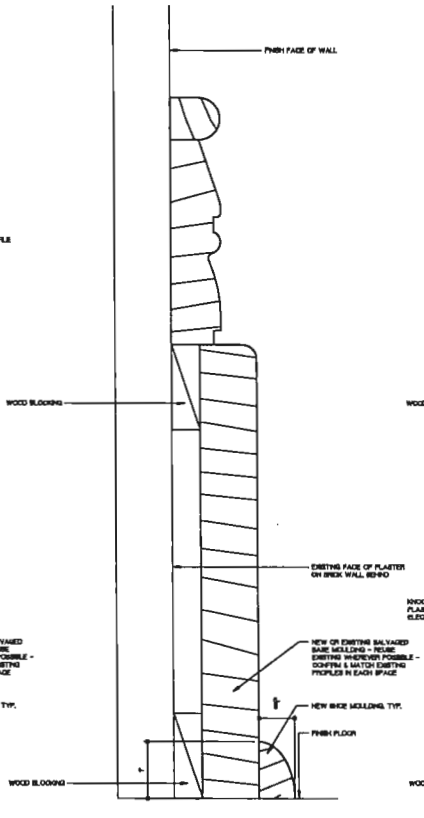
NOTE: DO NOT USE THIS DRAWING AS A MOULDING TEMPLATE. PROFILE SHALL BE MATCHED TO EXISTING MOULDING AT EACH SPACE - FIELD VERIFY SHAPES & EXTENTS OF EXISTING REUSABLE WOOD BASE MATERIAL.

1/8.1 BASE
FULL SCALE STUD WALL



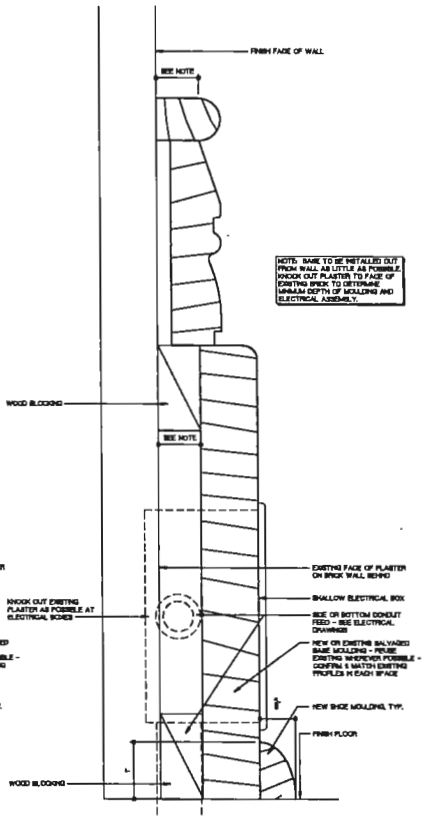
NOTE: DO NOT USE THIS DRAWING AS A MOULDING TEMPLATE. PROFILE SHALL BE MATCHED TO EXISTING MOULDING AT EACH SPACE - FIELD VERIFY SHAPES & EXTENTS OF EXISTING REUSABLE WOOD BASE MATERIAL.

2/8.1 BASE
FULL SCALE STUD WALL 2-HOUR RATED



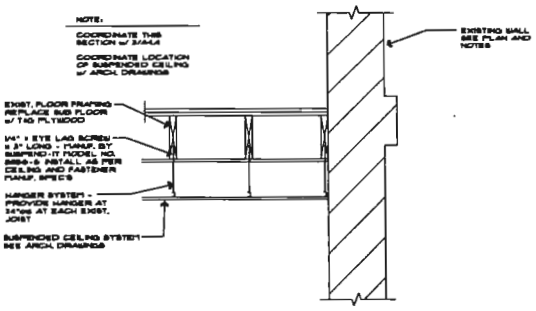
NOTE: DO NOT USE THIS DRAWING AS A MOULDING TEMPLATE. PROFILE SHALL BE MATCHED TO EXISTING MOULDING AT EACH SPACE - FIELD VERIFY SHAPES & EXTENTS OF EXISTING REUSABLE WOOD BASE MATERIAL.

3/8.1 BASE
FULL SCALE BRICK WALL WITHOUT ELECTRICAL

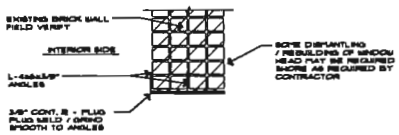


NOTE: DO NOT USE THIS DRAWING AS A MOULDING TEMPLATE. PROFILE SHALL BE MATCHED TO EXISTING MOULDING AT EACH SPACE - FIELD VERIFY SHAPES & EXTENTS OF EXISTING REUSABLE WOOD BASE MATERIAL.

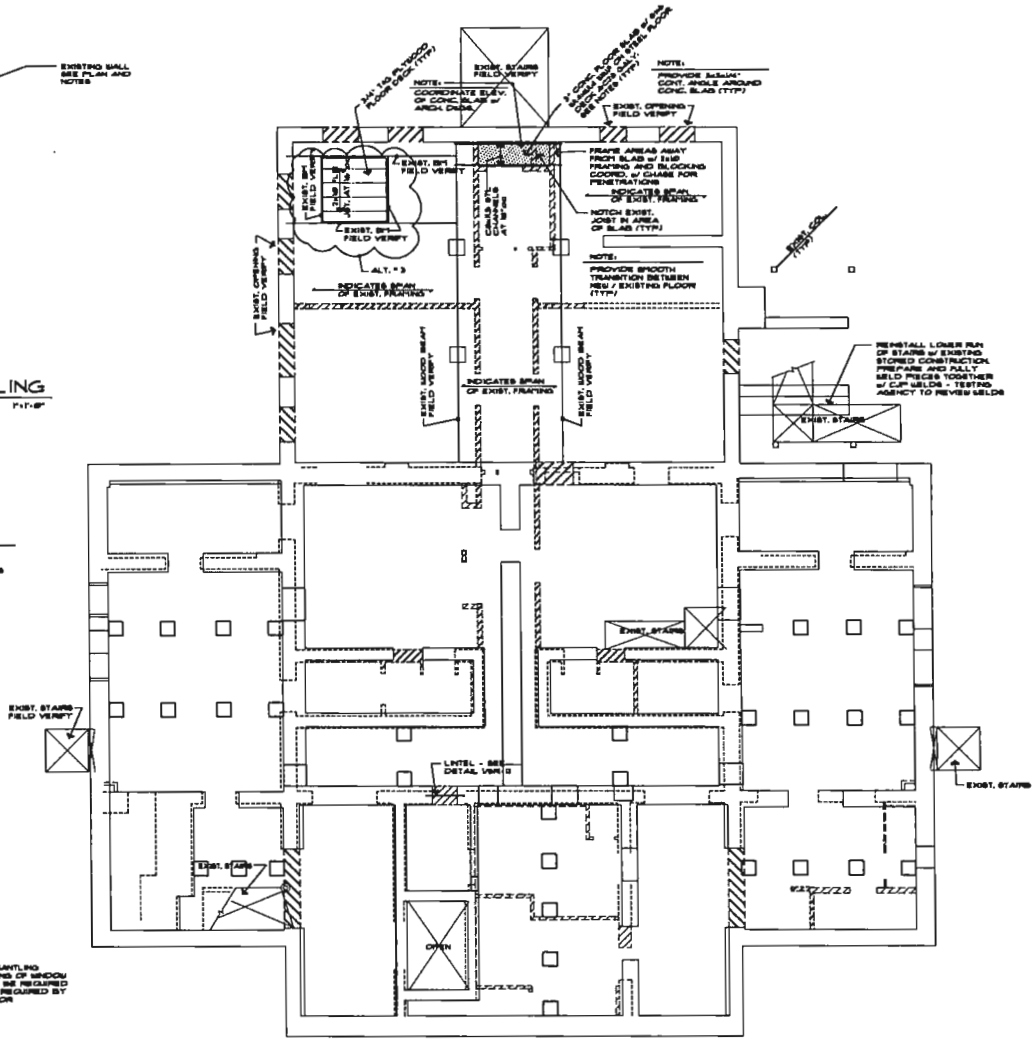
4/8.1 BASE
FULL SCALE BRICK WALL WITH ELECTRICAL



2 SECT. at SUSPENDED CEILING
S/A-5 SCALE: 1"=1'-0"



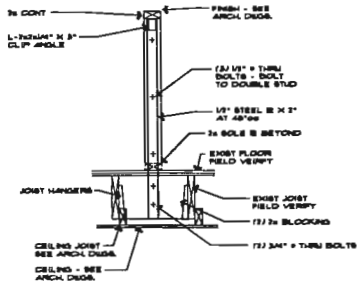
1 SECT. thru LINTEL
S/A-5 SCALE: 1"=1'-0"



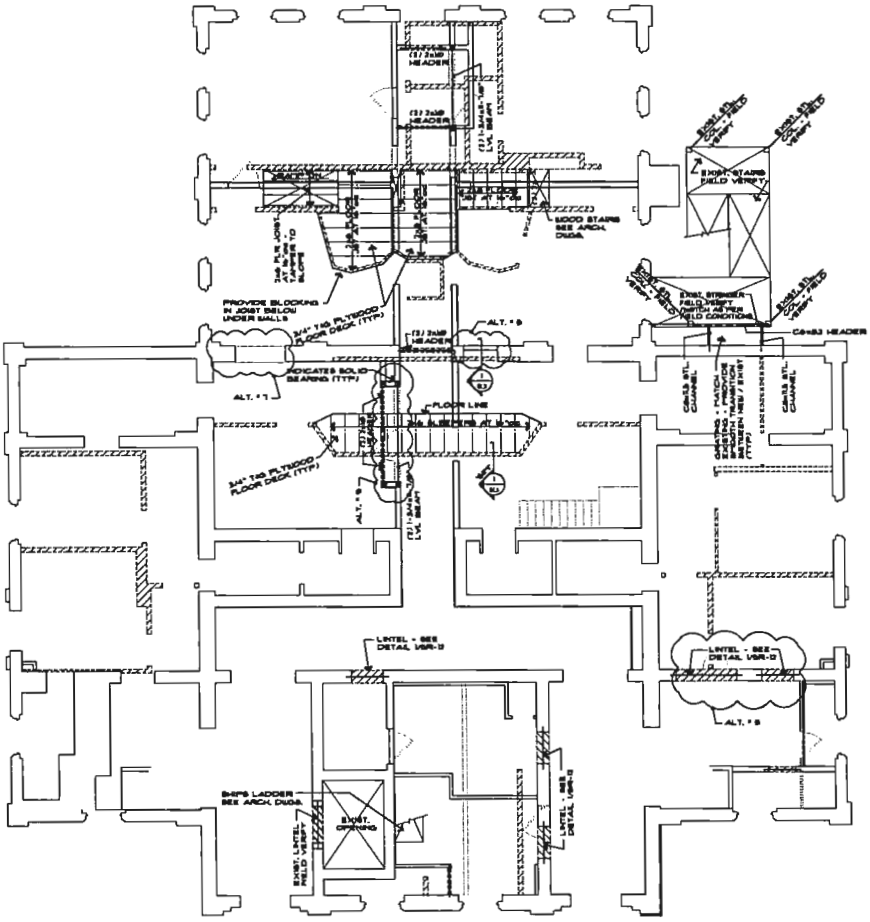
FIRST LEVEL FRAMING PLAN
SCALE: (ABOVE BASEMENT LEVEL WALLS) 3/16"=1'-0"

DESIGN DEVELOPMENT DOCUMENTS
NOT FOR CONSTRUCTION 28 OCT 20022

These drawings are intended to illustrate the scope of the structural work and to assist the contractor in obtaining an estimated cost. These documents are not intended for construction nor are they intended to be complete or fully detailed. It is anticipated that the final construction documents may modify or change some information contained herein based on architectural requirements, mechanical plans, wall panel details, and final coordination with all drawings required to complete construction documents.



1 SECT. thru WALL STRUT
VSR-13 SCALE: 1"=1'-0"



SECOND LEVEL FRAMING PLAN
SCALE: (ABOVE FIRST LEVEL WALLS) 3/8"=1'-0"

DESIGN DEVELOPMENT DOCUMENTS
NOT FOR CONSTRUCTION 25 OCT 2022

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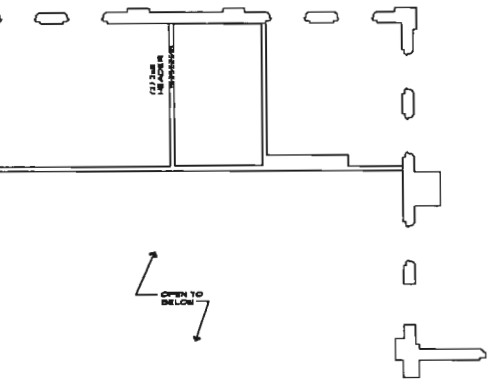
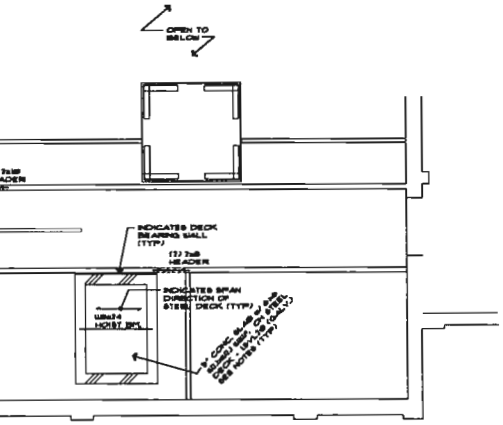
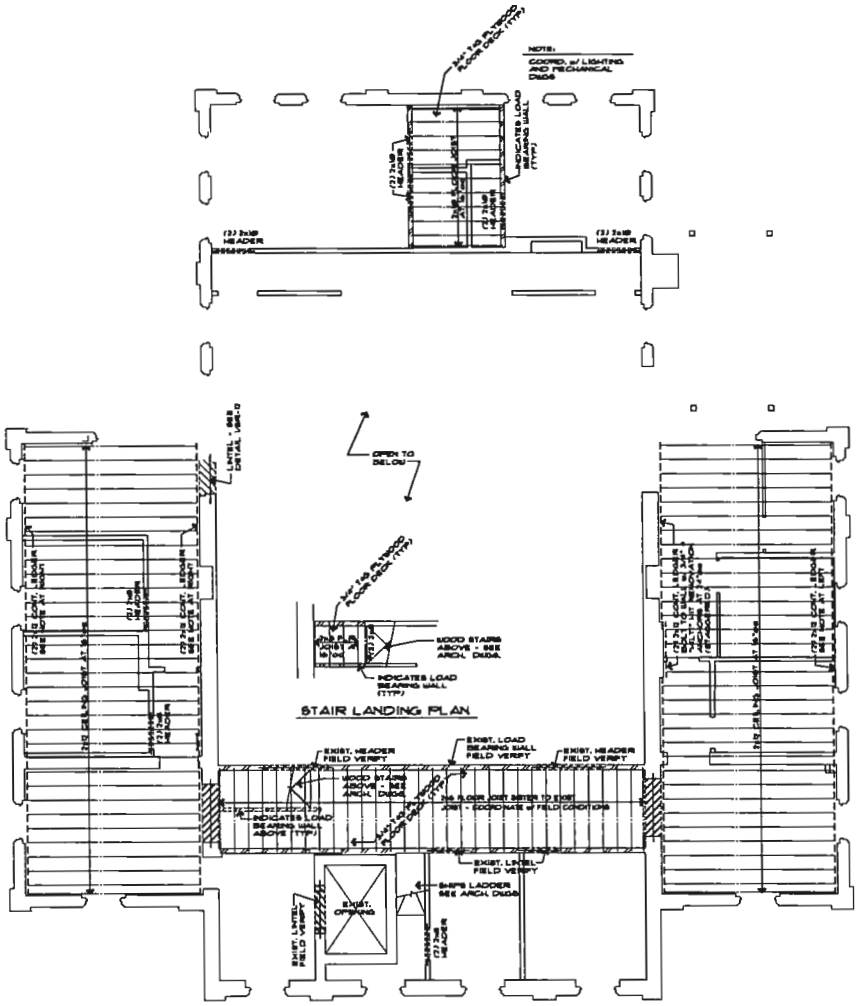


RTIAL PLATFORM FRAMING PLAN

(FRAMING OVER HVAC PLATFORM WALLS)



RTIAL ATTIC FRAMING PLAN



HVAC PLATFORM FRAMING PLAN

SCALE: (FRAMING ON 2nd FLOOR WALLS) 3/16"=1'-0"

DESIGN DEVELOPMENT DOCUMENTS
NOT FOR CONSTRUCTION 28 OCT 2022

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ELECTRIC SPLIT SYSTEM HEAT PUMP SCHEDULE

INDOOR DRAWING SYMBOL	OUTDOOR DRAWING SYMBOL	CFM	CFM O.A.	EXT. S.P. IN.	CAPACITY (BTUH) TOTAL COOLING	SEN. COOLING	HEAT	CONDENSING UNIT WGT. LBS.	MCA	MOP	VOLT.	AIR HANDLER UNIT WGT. LBS.	AUX. HEAT	MCA	MOP	VOLT.	TEMP. FAN H.P.	EER/ SEER	COP	HSPF	MANUFACTURER & MODEL NO. AIR HANDLER	CONDS. UNIT
AHU-1	HP-1	800	90	0.5	17,900	13,400	17,200	111	12.8	20.0	230/1	116	4.80	27.0	30.0	208/1	0.25	11.5/ 14.0	3.74	8.50	MANUF. NUMBER/MODEL#	MANUF. NUMBER/MODEL#
AHU-2	HP-2	1000	120	0.5	23,800	17,700	22,400	143	14.0	25.0	230/1	145	7.20	43.0	45.0	208/1	0.25	11.5/ 14.0	3.73	8.50	MANUF. NUMBER/MODEL#	MANUF. NUMBER/MODEL#
AHU-3	HP-3	1000	120	0.5	23,800	17,700	22,400	143	14.0	25.0	230/1	145	7.20	43.0	45.0	208/1	0.25	11.5/ 14.0	3.73	8.50	MANUF. NUMBER/MODEL#	MANUF. NUMBER/MODEL#
AHU-4	HP-4	1600	150	0.5	28,400	21,400	27,000	196	17.0	25.0	230/1	198	7.20	46.0	50.0	208/1	0.5	11.5/ 14.0	3.80	8.50	MANUF. NUMBER/MODEL#	MANUF. NUMBER/MODEL#

ACCESSORIES AND FEATURES:
- 5 YEAR COMPRESSOR WARRANTY.
- EQUIPMENT TO BE AHI CERTIFIED AND UL APPROVED.
- COOLING CAPACITY AT 95/67 EAT, 115 O.D.U.
- HEATING CAPACITY AT 47 O.D.U.
- ESP DOES NOT INCLUDE FILTER SECTION.
- PROVIDE FILTER RACK AND 1" THICK MERV-8 FILTER, BACKDRAFT DAMPER FOR O.A. INTAKE FOR EACH UNIT.
- PROVIDE 7-DAY PROGRAMMABLE THERMOSTAT FOR EACH UNIT.
- PROVIDE ACR COPPER REFRIGERANT PIPING WITH FILTER-DRYER, SIGHT GLASS, AND SERVICE VALVES.
- PROVIDE LOW AMBIENT HEAD PRESSURE CONTROL TO 0°F.
- ALTERNATE MANUFACTURERS: DAIKIN, LENNOX, YORK

ELECTRIC MINI-SPLIT SYSTEM HEAT PUMP UNIT SCHEDULE

DRAWING SYMBOL INDOOR	OUTDOOR	CFM	O.A. CFM	CAPACITY (BTUH) TOTAL COOLING	TOTAL HEATING	INDOOR UNIT WGT. LBS.	OUTDOOR UNIT WGT. LBS.	MCA	MOP	VOLT.	SEER	MANUFACTURER & MODEL NO.* AIR HANDLER	CONDS. UNIT
CCU-1	CU-1	600	00	18,000	22,000	92	100	11.0	20.0	208/1/60	15.0	MITSUBISHI MSZGE09NA/NA	MITSUBISHI MUZGE09NA/NA
CCU-2	CU-2	600	00	18,000	22,000	92	100	11.0	20.0	208/1/60	15.0	MITSUBISHI MSZGE09NA/NA	MITSUBISHI MUZGE09NA/NA

ACCESSORIES AND FEATURES:
- FILTER RACK AND FILTER FURNISHED WITH UNIT.
- 5 YEAR COMPRESSOR WARRANTY.
- EQUIPMENT TO BE AHI CERTIFIED AND UL APPROVED.
- COOLING CAPACITY AT 95/67 EAT, 115 ODU.
- PROVIDE CONDENSATE PUMP WITH UNIT.
- PROVIDE AIR HANDLER WITH LOW AMBIENT CONTROLS.
- PROVIDE UNIT WITH 2 WIRE STAT KIT.
- ALTERNATE MANUFACTURERS: DAIKIN, GENERAL.

PACKAGE GAS/ELECTRIC UNIT SCHEDULE

DRAWING SYMBOL	CFM	O.A. CFM	EXT. S.P. IN	COOLING (BTUH) TOTAL	SENS.	EER/ SEER	HEAT (BTUH) INPUT	OUTPUT	A.F.U.E. %	ELECTRICAL VOLTAGE	MCA	MOP	EMP. FAN H.P.	WGT. LBS.	MANUFACTURER & MODEL NO.
PCU-1	1000	150	0.5	38,200	XXX	13.0 / 14.0	70,000	56,700	81	208/1/60	22.6	35.0	1/2	377	MANUF. #/DESIGNATION
PCU-2	800	120	0.5	24,000	XXX	13.0 / 14.0	60,000	48,600	81	208/1/60	16.1	30.0	1/2	256	MANUF. #/DESIGNATION

ACCESSORIES AND FEATURES:
- 5 YEAR COMPRESSOR WARRANTY.
- EQUIPMENT TO BE AHI CERTIFIED AND UL APPROVED.
- COOLING CAPACITY AT 95/67 EAT AND 95 F OUTDOOR AIR TEMPERATURE.
- ESP DOES NOT INCLUDE FILTER SECTION AND ANY ACCESSORIES.
- PROVIDE 7-DAY PROGRAMMABLE THERMOSTAT.
- PROVIDE FILTER RACK AND 1" THICK MERV-8 MINI PLEAT WITH UNIT.
- PROVIDE EACH UNIT WITH SAFETY DISCONNECT, LOW AMBIENT CONTROLS, AND ANTI-SHORT CYCLE TIMER.
- PROVIDE BAROMETRIC RELIEF DAMPER.
- PROVIDE MANUFACTURER'S ROOF CURB.
- INSTALL SMOKE DETECTORS WITH AUDIBLE/VISUAL ALARM IN THE SUPPLY AND RETURN DUCTS, FURNISHED BY ELECTRICAL.
- PROVIDE HEAT EXCHANGER WITH BOARDED INTAKE, RELIEF AIR, AND RETURN AIR DAMPER.
- PROVIDE 2HR INTAKE, O.A. DAMPER.
- ALTERNATE MANUFACTURERS: TRANE, LENNOX, YORK.

AIR DISTRIBUTION SCHEDULE

SYM.	SERVICE	DESCRIPTION	MATERIAL	MTG. & RCH	ACCESSORIES & FEATURES
CD-1	LOUVERED SUPPLY DIFFUSER	• FIXED-VAN DEFLECTION • FACE AIR VOLUME CONTROL	STEEL CONSTRUCTION WITH WHITE BAKED ENAMEL FINISH	FACE SCD	• OPPOSED BLADE DAMPER • NC < 35
CR-1	CEILING RETURN GRILLE	• FACE PATTERN	ALUMINUM CONSTRUCTION WITH WHITE BAKED ENAMEL FINISH	FACE RH	• NC < 35
SWS-1	SIDEWALL SUPPLY DIFFUSER	• DOUBLE DEFLECTION • ADJUSTABLE FRONT AND REAR BARS	STEEL WITH BAKED ENAMEL FINISH	FACE SWD	• OPPOSED BLADE DAMPER • NC < 35
SWS-2	SIDEWALL SUPPLY DIFFUSER	• DOUBLE DEFLECTION • ADJUSTABLE FRONT AND REAR BARS • FOR MOUNTING ON BOARD OR SPIRAL DUCT	ALUMINUM WITH PAINTABLE OR CLEAR FINISH	FACE SDC	• OPPOSED BLADE DAMPER • NC < 35

- SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR MOUNTING TYPE, REQUIRED. PROVIDE PLASTER FRAME FOR ALL AIR DEVICES LOCATED IN GYP. BOARD CEILINGS.
- VERIFY THE MOUNTING OF ALL CEILING AIR DISTRIBUTION DEVICES COMPLY WITH BUILDING STRUCTURE PRIOR TO PURCHASE.

EXHAUST FAN SCHEDULE

DRAWING SYMBOL	AREA CFM	S.P. IN WATER	RPM	WATTS	TYPE	CONTROL	VOLTAGE	SONES	WEIGHT LBS.	MANUFACTURER & MODEL NO.	NOTES
EF-1	150	0.25	1740	33	CEILING	LIGHT SWITCH	115/60/1	1.1	16	GREENHECK SP-A150	1,2,3
EF-2	150	0.25	1740	33	CEILING	LIGHT SWITCH	115/60/1	1.1	16	GREENHECK SP-A150	1,2,3
EF-3	50	0.25	870	15	CEILING	LIGHT SWITCH	115/60/1	1.0	10	GREENHECK SP-B70	1,2,3
EF-4	225	0.25	1012	121	CEILING	LIGHT SWITCH	115/60/1	1.1	31	GREENHECK SP-A410	1,2,3
EF-5	150	0.25	1740	33	CEILING	LIGHT SWITCH	115/60/1	1.1	18	GREENHECK SP-A150	1,2,3
EF-6	75	0.25	1084	14	CEILING	LIGHT SWITCH	115/60/1	0.4	13	GREENHECK SP-A80	1,2,3
EF-7	75	0.25	1084	14	CEILING	LIGHT SWITCH	115/60/1	0.4	13	GREENHECK SP-A80	1,2,3
EF-8	75	0.25	1084	14	CEILING	LIGHT SWITCH	115/60/1	0.4	13	GREENHECK SP-A80	1,2,3

ACCESSORIES AND FEATURES:
1. PROVIDE BACKDRAFT DAMPER.
2. PROVIDE FACTORY MOUNTED SPEED CONTROL.
3. PROVIDE ROOF CAP WITH BIRD SCREEN.

HVAC LEGEND & SYMBOLS

	A. RECTANGULAR DUCT: • MANUAL OPPOSED BLADE DAMPER WITH LOCKING QUADRANT. LENOX OPERATOR, OR SKILL CONSTRUCTION. • LOUVERS & DAMPERS MODEL CD-40D; ARMAFLEX MODEL 000-OH TYPE 2 OPERATION FOR LESS THAN 90° WIDE. B. ROUND DUCT: • ROUND BLADE CONTROL DAMPER OF STEEL CONSTRUCTION WITH MANUAL OPERATOR • LOUVERS AND DAMPERS MODEL CD-40R.
	RECTANGULAR ELBOW WITH SINGLE THICKNESS TURNING VANES OF SKILL CONSTRUCTION.
	CONSTRUCT ALL BRANCH CONNECTIONS WITH 45° FITTING PER SMACNA STANDARDS. DIMENSION: L = 1/4W, 1"MINIMUM
	SHEET METAL CONNECTORS, INC. HIGH EFFICIENCY TAKEOFF WITH DAMPER AND LOCKING QUADRANT FOR ROUND DUCT TAKEOFFS FROM RECTANGULAR DUCTWORK. INCREASE MAIN DUCT SIZE AT FITTING TO ACCOMMODATE IPS INSULATION IF REQUIRED TO MEET SMACNA AND MANUFACTURER'S INSTRUCTIONS. DIMENSION: D = BRANCH DIAMETER (1"-14")
	SUPPLY DUCT
	RETURN DUCT
	EXHAUST DUCT
	SUPPLY DUCT RISER
	SUPPLY DUCT DROP
	ROUND SUPPLY DUCT RISER
	ROUND SUPPLY DUCT DROP
	FLEXIBLE DUCT CONN. TO FLOWMASTER TYPE 3 INSULATED FLEXIBLE DUCT WITH ALUMINUM FOIL JACKET AND ALUMINUM FOIL THERMOPLASTIC POLYMIDE LAMINATE LINER. INSTALL IN ACCORDANCE WITH SECTION 8 OF SMACNA'S "HVAC DUCT CONSTRUCTION STANDARDS, METAL AND FLEXIBLE".
	SUPPLY DUCT
	RETURN DUCT
	MAKE-UP AIR SUPPLY DUCT
	EXHAUST DUCT
	INDICATES NEW HVAC EQUIPMENT
	INDICATES EXISTING HVAC EQUIPMENT
	DUCT TRANSITION
	DUCT DIG OUTS
	INDICATES 3/4" UNDERCUT DOOR
	WALL MOUNTED THERMOSTAT
	SUPPLY DIFFUSER W/FLEX DUCT
	RETURN GRILLE
	EXHAUST GRILLE OR EXHAUST FAN (REFER TO DRAWINGS FOR CLARIFICATION)
	EXISTING SUPPLY DIFFUSER W/FLEX DUCT
	EXISTING RETURN GRILLE
	EXISTING EXHAUST GRILLE OR EXHAUST FAN (REFER TO DRAWINGS FOR CLARIFICATION)
	SIDEWALL SUPPLY GRILLE
	SIDEWALL RETURN GRILLE

ELECTRIC DUCTLESS SPLIT SYSTEM HEAT PUMP UNIT SCHEDULE

DRAWING SYMBOL INDOOR	OUTDOOR	CFM H/M/L	CAPACITY (BTUH) TOTAL COOLING	HEATING	INDOOR UNIT WGT. LBS.	VOLT.	OUTDOOR UNIT WGT. LBS.	MCA	MOP	VOLT.	EER/ SEER	COP	HSPF	MANUFACTURER & MODEL NO.* INDOOR UNIT	OUTDOOR UNIT
DSS-1	DCU-1	300/237/145	9,000	14,000	77.0	208/1/60	81.0	9.0	15.0	208/1/60	13.4/24.0	4.14	17.0	MITSUBISHI MUHZSW06NA12	MITSUBISHI MUZGS06NA12
DSS-2	DCU-2	300/237/145	17,000	14,400	77.0	208/1/60	81.0	8.0	15.0	208/1/60	13.0/23.1	3.84	17.5	MITSUBISHI MUHZSW06NA12	MITSUBISHI MUZGS06NA12

ACCESSORIES AND FEATURES:
- FILTER RACK AND FILTER FURNISHED WITH UNIT.
- 5 YEAR COMPRESSOR WARRANTY.
- EQUIPMENT TO BE AHI CERTIFIED AND UL APPROVED.
- COOLING CAPACITY AT 80/67 EAT, 95° O.D.U.
- PROVIDE CONDENSATE PUMP WITH UNIT.
- PROVIDE AIR HANDLER WITH LOW AMBIENT CONTROLS.
- PROVIDE UNIT WITH A WIRED STAT KIT.
- ALTERNATE MANUFACTURERS: CARRIER, LENNOX.

GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATION OF H.V.A.C. COMPONENTS OR PURCHASE OF EQUIPMENT.
2. CONTRACTOR SHALL COORDINATE ALL OTHER TRADES WITH THE INSTALLATION OF H.V.A.C. SYSTEM.
3. H.V.A.C. LISTING ANY CERTAIN TRADES AND ARRANGEMENT NOT USED ON THIS SPECIFIC PROJECT, LISTING SHALL BE USED FOR REFERENCE PURPOSES.
4. CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE H.V.A.C. SYSTEM AS IS RELATED TO DRAWINGS AND SPECIFICATIONS.
5. CONTRACTOR IS REQUIRED TO REVIEW ARCHITECTURAL PLANS FOR DUCTED ACCESSORIES. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH THE SPECIFICATIONS AND APPLICABLE BUILDING CODES.
6. "STANDARD" ACCESSORIES OR CONTROLS ON H.V.A.C. EQUIPMENT SHALL BE THOSE WHICH MANUFACTURER PROVIDES ON THE MAJORITY OF SUCH MERCHANDISE.
7. BRAND NAMES AND MODEL NUMBERS ARE PROVIDED TO ESTABLISH A LEVEL OF QUALITY AND PERFORMANCE. "EQUAL TO" ITEMS MAY BE SUBMITTED FOR CONSIDERATION BY THE ENGINEER AND OWNER.
8. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE APPROXIMATE ROUTING OF PIPING AND DUCTWORK. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES. MINOR OFFSETS AND ADJUSTMENTS SHALL BE PROVIDED WHERE REQUIRED AS TO ACHIEVE COST TO THE OWNER.
9. COORDINATE CEILING DIFFUSERS AND RECESSED LUCKERS WITH ARCHITECT'S REFLECTED CEILING PLAN.

HVAC NOTES:

1. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE SUPPLY, RETURN AND EXHAUST DUCT AS FOLLOWS: DUCTWORK TO BE DESIGNED, DIRECTED, AND SUPPORTED IN ACCORDANCE WITH SMACNA FOR LOW PRESSURE APPLICATIONS, SEAL CLASS C FOR SMACNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE DUCTWORK (FLEXIBLE DUCT MAX. 5') SMACNA-HVAC. SHEET METAL HANGERS SHALL NOT BE ALLOWED FOR FLEXIBLE DUCTWORK SUPPORT. FLEXIBLE DUCTWORK SHALL BE SUPPORTED IN A MANNER THAT PREVENTS CONTRACTION OR SAG. INSULATION SHALL BE AS NOTED BELOW.
2. ALL DUCT SIZINGS SHALL BE U.S. A/M, UNLESS NOTED OTHERWISE.
3. MANUAL OPPOSED BLADE DAMPERS SHALL BE PLACED IN EACH BRANCH OF SUPPLY DUCTWORK FOR FINAL BALANCING PURPOSES. BALANCING DEVICES SHALL BE IN ACCORDANCE WITH NEC [2012] 603.10.
4. CONTRACTOR SHALL FIELD VERIFY ALL DUCT ROUTING DIMENSIONS AND TERMINAL DEVICES TO AVOID INTERFERENCES. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SUPPORTS FOR PIPING AND DUCTWORK.
5. CONDENSATE DRAIN PIPING SHALL BE FULL SIZE PER EQUIPMENT CONNECTION WITH PVC ROUTED TO NEAREST CONNECTION VEHICLE CREATING NO OBSTRUCTION. ALL SUPPORTS FOR THE CONDENSATE DRAIN PIPING IS BY THE MECHANICAL/HVAC CONTRACTOR.
6. THE MECHANICAL SYSTEMS SHALL HAVE TESTING AND BALANCING PERFORMED BY THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE SYSTEMS. THE CONTRACTOR SHALL PREPARE AND SUBMIT A COMPLETE REPORT CONSISTING ALL MAJOR PIECES OF HVAC EQUIPMENT AND AIR DISTRIBUTION DEVICES WITH PERFORMANCES AND FINAL AIR BALANCE OF LOCAL. SUBMITTAL SHALL BE PRESENTED TO THE ENGINEER AND BUILDING OWNER OR TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL.
7. PROVIDE MINIMUM 10 FEET SEPARATION BETWEEN OUTSIDE AIR INTAKES AND EXHAUST VENTS, PLUMBING VENTS, ETC.
8. PROVIDE SMOKE DETECTORS IN THE SUPPLY AND RETURN AIR DUCTS OF ALL UNITS OVER 2000 CFM AND CHECK LOCATE DETECTOR IN THE RETURN AIR DUCT UPSTREAM OF FRESH AIR MIXING, AND UPSTREAM OF EXHAUST IN ACCORDANCE WITH NEC 604. LOCATE DETECTOR IN THE SUPPLY AIR DUCT DOWNSTREAM OF THE FILTERS AND UPSTREAM OF THE FIRST BRANCH CONNECTION IN ACCORDANCE WITH NFPA 90A. DETECTORS SHALL BE WIRED INTO BUILDING FIRE ALARM SYSTEM AND SHALL BE WIRED TO SHUT UNIT/S DOWN UPON DETECTION OF SMOKE.
9. DETERMINATE SHALL BE MEASURED 48" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
10. PROVIDE ACCESS DOOR (12"x12" MIN) AS REQUIRED FOR DAMPER AND CONTROL ACCESS IN WALLS AND CEILINGS.

DUCT SEALING:

A. PRESSURE SENSITIVE TAPE USED AS THE PRIMARY SEALANT IS CERTIFIED AND SHALL COMPLY WITH UL-181A OR UL-181B.
B. PROVIDE LONGITUDINAL SEAMS ON ROUND DUCT AND TRANSVERSE SEAMS ON ALL DUCTS.
C. PROVIDE MECHANICAL FASTENERS AND SEALANTS SHALL BE USED TO CONNECT DUCTS AND AIR DISTRIBUTION DEVICES.

INSULATION:

1. DUCTWORK SHALL BE INSULATED IN ACCORDANCE WITH THE FOLLOWING:
   A. NO INSULATION FOR CHANNEL OR EXPOSED SPIRAL SUPPLY AND RETURN DUCTWORK.
   B. FOR FIRST 5' OF DUCTWORK WITH PROVIDE 2" THERMOFLEX BLANKET TYPE INSULATION WITH FOIL VAPOR BARRIER COVER IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS. REFER TO DETAILS FOR EXTERIOR DUCTWORK INSULATION REQUIREMENTS.

PENETRATIONS:

1. SLEEVES SHALL BE INSTALLED WHERE DUCTS, LOUVERS, OR PIPING PENETRATE NON-RATED EXTERIOR WALLS, PARTITIONS, FLOORS, OR ROOF. PACK AROUND SLEEVES AND SEAL WEATHER TIGHT. INSTALL FLASHING AS REQUIRED. SLEEVES SHALL BE ANNULAR 16 GAUGE GALVANIZED STEEL AND SHALL BE FIRMLY SET IN BUILDING STRUCTURE.

SUBMITTALS AND ACCEPTANCE:

1. UNLESS OTHERWISE INDICATED, THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF HVAC SHOP DRAWINGS TO THE PROJECT MANAGER AND SHALL PACK HELAY INDEX TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PURCHASE OF EQUIPMENT.
2. OPERATION AND MAINTENANCE MANUALS FOR ALL MECHANICAL EQUIPMENT SHALL BE COMPILED INTO A THREE RING BINDER AND TURNED OVER TO BUILDING OWNER UPON PROJECT COMPLETION.

BREWER INGRAM FULLER Architects Inc.

Loudon County Courthouse

RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

THESE DRAWINGS ARE INTENDED TO ILLUSTRATE GENERALLY THE PROPOSED SCOPE AND QUALITY OF THE PROJECT AND TO ASSIST IN OBTAINING A PRELIMINARY ESTIMATE OF CONSTRUCTION COST. THESE DOCUMENTS ARE NOT INTENDED FOR CONSTRUCTION NOR ARE THEY INTENDED TO BE COMPLETE OR FULLY DETAILED. THEY CONTAIN A LEVEL OF INCONSISTENCY COMMON TO PROGRESS DRAWINGS AT THIS DESIGN DEVELOPMENT STAGE. THE FINAL CONSTRUCTION DOCUMENTS WILL MODIFY SOME OF THE INFORMATION CONTAINED HEREIN BASED ON ARCHITECTURAL REQUIREMENTS, DEVELOPMENT OF BUILDING SYSTEMS, OWNER CHANGES, AND COORDINATION OF INFORMATION.

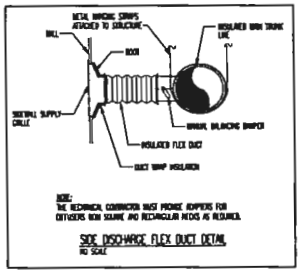
HVAC SCHEDULES, LEGEND, + NOTES

PRELIMINARY - NOT FOR CONSTRUCTION

FACILITY SYSTEMS CONSULTANTS, LLC

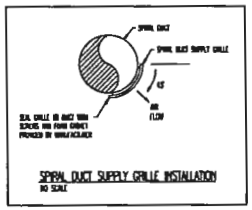
10/28/2013
DESIGN DEVELOPMENT PROGRESS PRINT FOR REVIEW
FSC PROJECT NUMBER

M0.1

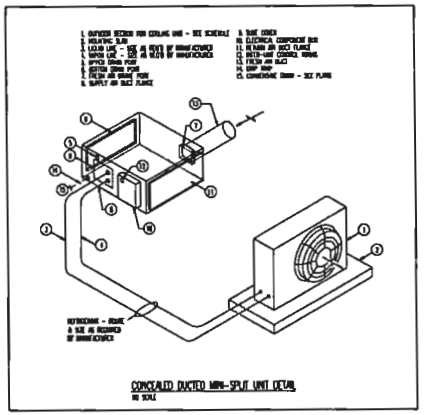


NOTE:
THE MECHANICAL CONTRACTOR MUST PROVIDE ADAPTERS FOR DIFFUSERS FROM SQUARE AND RECTANGULAR NECKS AS REQUIRED.

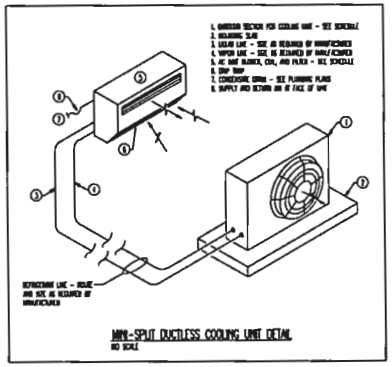
SIDE DISCHARGE FLEX DUCT DETAIL
NO SCALE



SPIRAL DUCT SUPPLY GRILLE INSTALLATION
NO SCALE



CONCEALED DUCTED MINI-SPLIT UNIT DETAIL
NO SCALE



MINI-SPLIT DUCTLESS COOLING UNIT DETAIL
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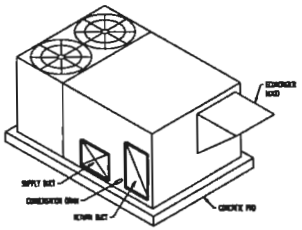
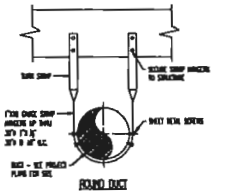


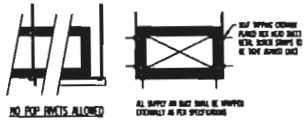
PACKAGED HVAC UNIT DETAIL
NOT TO SCALE



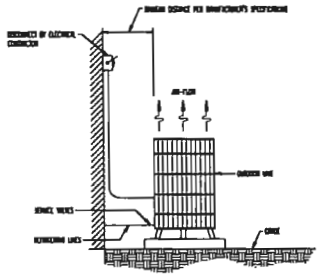
ROUND DUCT

HANGER SIZES FOR RECTANGULAR DUCT			
DUCT SIZE	HANGER	CONDUCTOR SUPPORT WIRE REQUIRED	HANGER SPACING
24"	1"x16" OVER STRAP	1/4"	8'-0"
24"	1/4" ROUND ROD	1 1/4 1/2"/ft	4'-0"
36"	1/4" ROUND ROD	1'-0"/ft	4'-0"
36"	1/4" ROUND ROD	1'-0"/ft	4'-0"
24"	1/4" ROUND ROD	1'-0"/ft	4'-0"

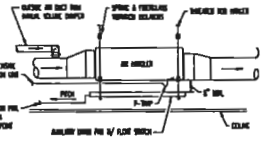
ALL METAL SUPPLY AIR DUCT, EXCEPT EXPOSED, SHALL BE SUPPORTED VERTICALLY AS PER SPECIFICATIONS



DUCT STRAP HANGER DETAIL
NO SCALE

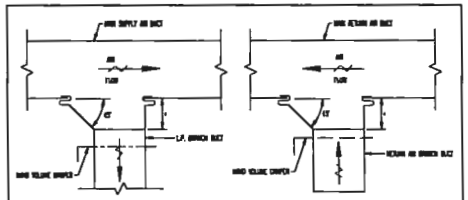


OUTDOOR AIR COOLED CONDENSING UNIT DETAIL
NO SCALE



NOTES:
1. INSULATE DRAIN LINES FROM UNIT AND AUXILIARY PAN FULL LENGTH. SEE PLUMBING DRAWINGS.
2. MAINTAIN A CLEARANCE OF 1" (MIN.) BETWEEN AUXILIARY PAN & COLUMN FOR REMOVAL OF COLUMN BLOCK. MODIFY CONDITIONS IF CONFLICTS.

HORIZONTAL HEAT PUMP (W/ MANUAL VOLUME DAMPER) INSTALLATION DETAIL
NO SCALE

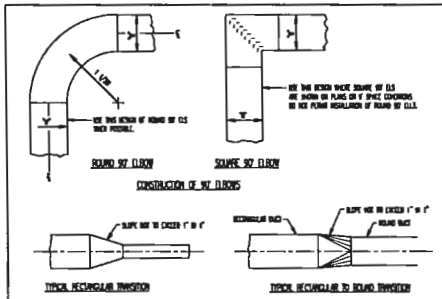


*-EQUALS WIDTH OF BRANCH DUCT UP TO 12". 12" FOR ALL BRANCH DUCTS LARGER THAN 12".

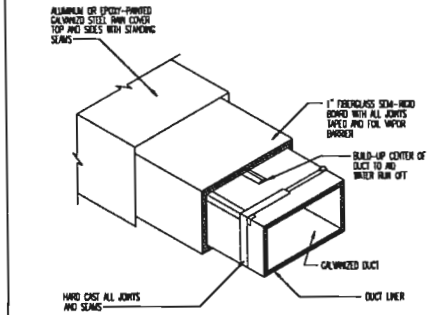
TYPICAL SUPPLY AIR BRANCH DUCT TAKE-OFF
NO SCALE

*-EQUALS WIDTH OF BRANCH DUCT UP TO 12". 12" FOR ALL BRANCH DUCTS LARGER THAN 12".

TYPICAL RETURN AIR BRANCH DUCT TAKE-OFF
NO SCALE



DETAILS OF THE LOW VELOCITY DUCT LAYOUT
NO SCALE



DUCT EXPOSED TO WEATHER DETAIL
NO SCALE

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RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS
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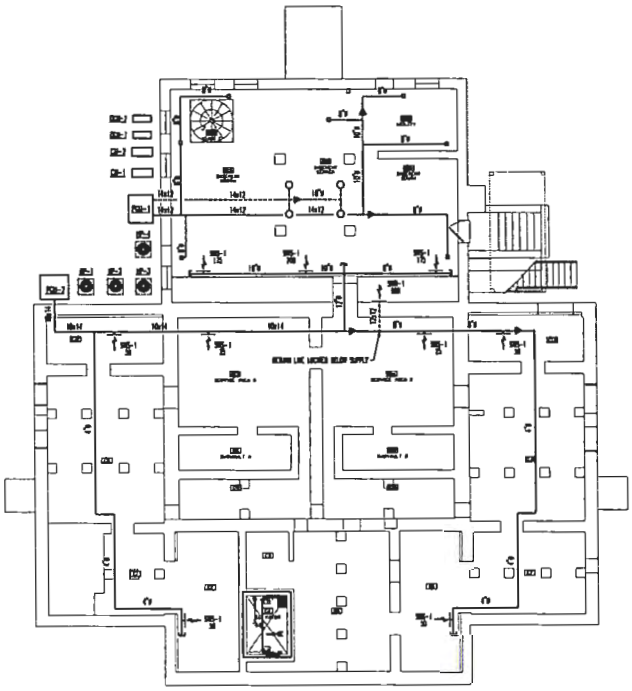
HVAC DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION

FACILITY SYSTEMS CONSULTANTS, LLC

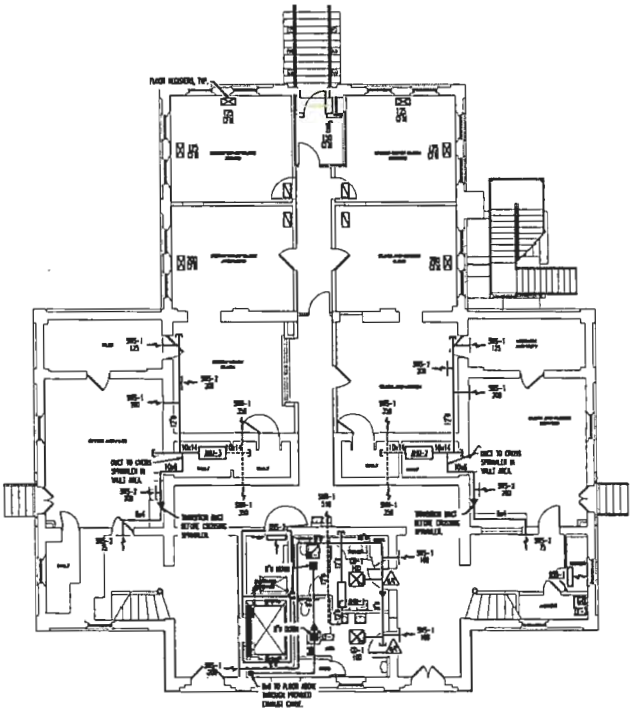
12/28/2012
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
BDA PROJECT NUMBER

M0.2



BASEMENT LEVEL HVAC PLAN

SCALE: 1/8"=1'-0"



FIRST LEVEL HVAC PLAN

SCALE: 1/8"=1'-0"

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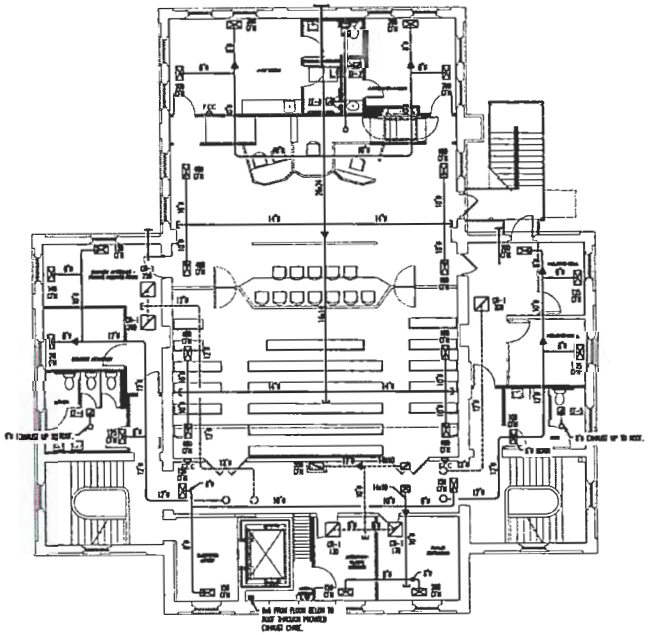
RENOVATION PHASE 2

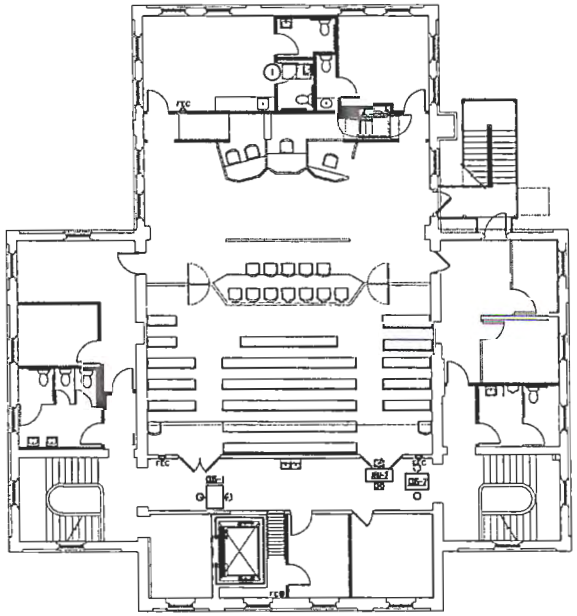
KEYED NOTES

1. EXISTING MANUAL FURNACES TO BE REMOVED AND LOCATED ON MECHANICAL PLATFORM.



SECOND LEVEL HVAC PLAN

SCALE: 1/8"=1'-0"



MECHANICAL PLATFORM HVAC PLAN

SCALE: 1/8"=1'-0"

DESIGN DEVELOPMENT DOCUMENTS
NOT FOR CONSTRUCTION

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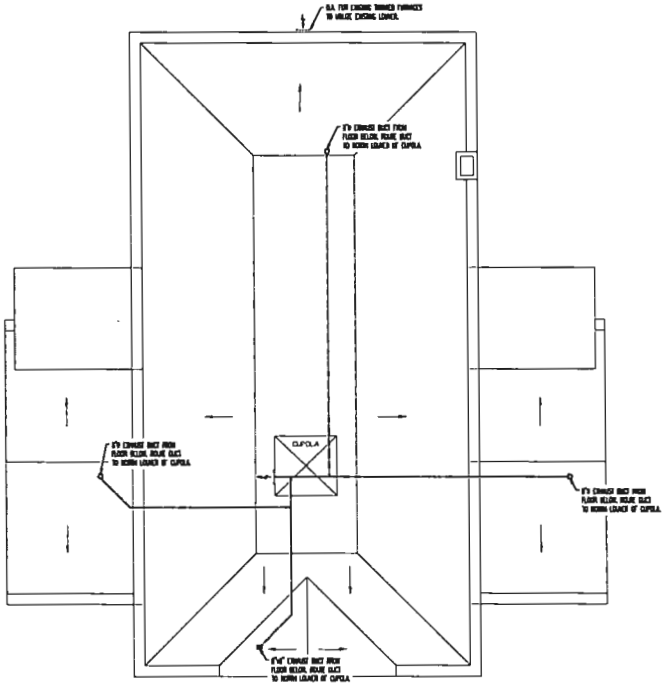
HVAC PLAN - SECOND LEVEL + PLATFORM

PRELIMINARY - NOT FOR CONSTRUCTION

FACILITY SYSTEMS CONSULTANTS, LLC

10/28/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
FSC PROJECT NUMBER

M1.2



ROOF HVAC PLAN

SCALE: 1/8"=1'-0"

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RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS
NOT FOR CONSTRUCTION

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HVAC PLAN - ROOF

PRELIMINARY - NOT FOR CONSTRUCTION

FACILITY SYSTEMS CONSULTANTS, LLC

6/26/2012
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
SDA PROJECT NUMBER

M1.3

PLUMBING FIXTURE SCHEDULE

DESIGNATION	FIXTURE TYPE	MANUFACTURER	MODEL #	DESCRIPTION	NOTES
FCO	CLEANOUT	[illegible]	[illegible]	[illegible]	
WCO	CLEANOUT	[illegible]	[illegible]	[illegible]	
WCO	CLEANOUT ACCESS COVER	[illegible] [illegible]	[illegible] [illegible]	[illegible]	
FD	FLOOR DRAIN	[illegible]	[illegible]	[illegible]	
WC1	WATER CLOSET SEAT SUPPLY CONNECTOR SIZES	[illegible] [illegible] [illegible]	[illegible] [illegible] [illegible]	[illegible]	
WC2	WATER CLOSET SEAT SUPPLY CONNECTOR SIZES	[illegible] [illegible] [illegible]	[illegible] [illegible] [illegible]	[illegible]	
LV	LAVATORY FAUCET MIXING VALVE DRAIN P-TRAP SUPPLIES STOP STOPS LAVATORY CONNECTOR SIZES	[illegible] [illegible] [illegible] [illegible] [illegible] [illegible] [illegible]	[illegible] [illegible] [illegible] [illegible] [illegible] [illegible]	[illegible]	
LV	LAVATORY FAUCET MIXING VALVE DRAIN P-TRAP SUPPLIES CONNECTOR SIZES	[illegible] [illegible] [illegible] [illegible] [illegible] [illegible]	[illegible] [illegible] [illegible] [illegible] [illegible] [illegible]	[illegible]	
S	SINK FAUCET DRAIN P-TRAP SUPPLIES CONNECTOR SIZES	[illegible] [illegible] [illegible] [illegible] [illegible]	[illegible] [illegible] [illegible] [illegible] [illegible]	[illegible]	
HB	HOT SINK FAUCET CONNECTOR SIZES	[illegible] [illegible] [illegible]	[illegible] [illegible]	[illegible]	

ABBREVIATIONS

BV	BALL VALVE
CI	CAST IRON
CO	CLEAN OUT
CON	CONNECTIONS
CW	COLD WATER
CWL Y	CHECK VALVE
D	DRAINING
FD	FLOOR DRAIN
FS	FLOOR SINK
GV	GATE VALVE
HB	HOSE BIB/WALL HYDRANT
HW	HOT WATER
HWS	HOT WATER SUPPLY
HWR	HOT WATER RETURN
PV	PRESSURE REGULATOR (SEE SCHEDULE)
SS	SANITARY SEWER
VS	VENT STACK
VL	VENT LINE
VRS	VENT THRU ROOF
WS	WASTE SEWER
WR	WATER HEATER
WS	WASTE STACK

PIPING SYMBOLS

- BALL VALVE
- GATE VALVE
- BUTTERFLY VALVE
- GLOBE VALVE
- CHECK VALVE
- GAS COCK / PLUG VALVE
- GLOBE VALVE
- UNION
- CONCENTRIC REDUCER
- PRESSURE REGULATING VALVE
- PRESSURE RELIEF VALVE
- PIPE TURNS DOWN
- PIPE TURNS UP
- PIPE TEE DOWN
- PIPE TEE UP
- PIPE UNION
- SUNBACK
- CLEAN OUT

PLUMBING LEGEND

- COLD WATER LINE
- HOT WATER SUPPLY
- HOT WATER RETURN
- HOT WATER - HWT
- HOT WATER RETURN - HWT
- SANITARY SEWER LINE
- CHLORIC WASTE
- NATURAL GAS
- LOBBY PROPANE
- VENT LINE
- CONCENTRIC
- UNDERFLOOR PIPING
- UNDERGROUND
- UNDERGROUND CONDUIT
- UNDERGROUND
- UNDERGROUND
- FLEXIBLE WATER
- POINT OF CONNECTION TO EXISTING PLUMBING
- FLOOR DRAIN
- FLOOR SINK
- ROOF DRAIN
- WATER CLOSET CONNECTION
- FLOOR/CEILING CLEAN-OUT
- WALL CLEAN-OUT
- PRESSURE CONNECTION
- HOSE BIBB
- WATER HAMMER ARRESTER

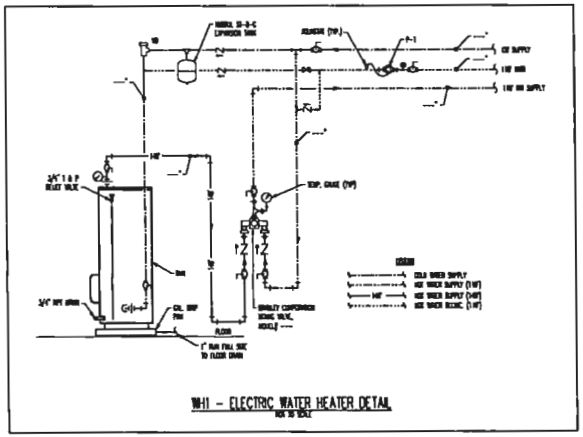
NOTE:
1. FOR CONNECTION SIZES AT FIXTURES, SEE PLUMBING FIXTURE SCHEDULE.

PLUMBING NOTES:

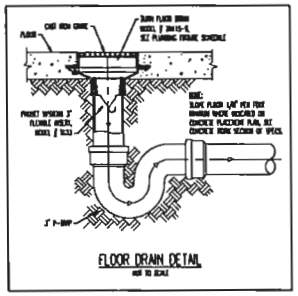
1. SANITARY WASTE AND VENT PIPING BELOW GRADE AND BELOW GRADE SHALL BE SCHEDULE 40 PVC-DWV PLASTIC PIPE, AND FITTINGS WITH SOLVENT WELD JOINTS. PLASTIC PIPING AND PIPING COMPONENTS SHALL BE LABELED AS CONFORMING WITH ANSI/NSF 14, AND ASTM D-2665. CASTS IRON WASTE INDICATED.
2. UNLESS INDICATED OTHERWISE ON DRAWINGS, INTERIOR, WATER PIPING IS TO BE ROUTED IN CEILING SPACES, ATTICS, CHASE SPACES AND IN AND BETWEEN WALL SCALES, (I.E. GAS AND WATER APPLICABLE) AND ON FACE OF INSULATED BUILDING EXTERIOR. THIS PIPING SHALL BE TYPE "L" COPPER AND INSTALLED IN ACCORDANCE WITH 2012 INTERNATIONAL PLUMBING CODE. TYPE "K" INSULATED "B" PCX IS PERMISSIBLE UPON OWNERS APPROVAL ONLY ON WATER LINES 1" AND SMALLER. WHERE PCX IS WHICH COLD AND HOT WATER MAINS SHALL BE TYPE L COPPER WITH DRAINED PIPING BEING PCX. WHERE PCX IS WHICH AS BRANCH IN LIEU OF COPPER, PIPING SHALL BE A PIPE SIZE LARGER THAN THAT IS SHOWN ON PLANS.
3. ALL WATER PIPING TO PERCHWARE MUST A MINIMUM OF 12" ABOVE DUST. FLUSH AND SEAL TO DUST REMOVEMENT. PIPE WITH PIPING ABOVE ROOF AND WITH 2 COATS EPOXY BAKED PAINT, COLOR TO MATCH ROOF.
4. CONTRACTOR SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS WHICH MAY AFFECT WORK, INCLUDING VERIFICATION OF LOCATIONS AND RELATIONSHIP OF FIXTURE FACINGS AND CONNECTIONS.
5. PIPING PLACED IN TRENCHES SHALL BE CHECKED IN 6" OF LOOSE, MOISTENED FILL, SAND FILL MAXIMUM ON EACH SIDE IN 6" LAYERS. ALL PIPING UNDER SLAB SHALL HAVE A MINIMUM 1" COVER FROM BOTTOM OF SLAB TO TOP OF PIPE. AT HIGH POINT, PROVIDE PIPING FROM BEING CHANGED IN ENGINEER CONSTRUCTED.
6. EACH SINK, WATER CLOSET, ETC. SHALL HAVE SHUT-OFF VALVES LOCATED AT THE FIXTURE.
7. THE PLUMBING SYSTEM IN ITS CORRECT SHALL NOT BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY THE OWNER.
8. PRIOR TO CONTRACT THE WATER SUPPLY SYSTEM, IT SHALL BE PRESSURE TESTED AND PRESSURE TEST UNDER A WATER PRESSURE NOT LESS THAN 25 P.S.I. ABOVE THE NORMAL PRESSURE UNDER WHICH IT IS TO BE OPERATED. THIS TEST SHALL BE COMPLETED AND APPROVED IN THE PRESENCE OF THE OWNER.
9. ALL SOLDERED JOINTS SHALL BE CLEANED BRUSH AND ALL BURRS SHALL BE REMOVED AND THE SHALL BE RETURNED TO FULL BORE.
10. ALL SOLDER AND FLUX USED IN THE INSTALLATION OR REPAIR OF THE WATER SUPPLY OR DISTRIBUTION SYSTEM SHALL BE LEAD FREE.
11. ALL SOLDERED JOINT BUILDING BLOCK ON FITTINGS, SOLDER, TUBING SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
12. ALL MATERIALS, METHODS, AND PROCESS SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL PLUMBING CODE.
13. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED FITTINGS TO CREATE A COMPLETE AND FUNCTIONAL PLUMBING SYSTEM. CONTRACTOR SHALL DETERMINE ANY FITTINGS REQUIRED FOR CONNECTION TO FIXTURES SPECIFIED.
14. PROVIDE REMOVABLE PIPE COVERS ON ALL EXPOSED SUPPLY AND WASTE FITTINGS TO COMPLY WITH ADA AND SOL ANSI/A REQUIREMENTS.
15. CLEANOUTS
    A. INTERIOR FINISHED FLOOR AREAS (FCO) – LACQUERED CAST IRON BODY WITH ANCHOR FLANGE, REVERSIBLE CLAMPING COLLAR, ADJUSTABLE TOP ASSEMBLY AND ROUND CHROMED REPRESSED COVER TO ACCEPT FLOOR FINISH.
    B. INTERIOR FINISHED WALL AREAS (WCO) – LINE TYPE, WITH LACQUERED CAST IRON BODY AND ROUND EPOXY COATED CABINET COVER, AND ROUND STAINLESS STEEL ACCESS COVER SECURED WITH 6-CHROME SCREW.
    C. EXTERIOR SURFACED AREAS – ROUND CAST IRON, BRONZE ACCESS FRAME AND NON-SKID COVER.
    D. EXTERIOR UNSURFACED AREAS – LINE TYPE, WITH LACQUERED CAST IRON BODY AND ROUND EPOXY COATED CABINET COVER.
16. ALL HOT WATER PIPE ABOVE GRADE SHALL BE INSULATED WITH 1/2" FIBERGLASS, LOW PRESSURE INSULATION WITH WHITE UNIVERSAL JACKET. ALL COLD WATER PIPE ABOVE GRADE SHALL BE INSULATED WITH 1/2" FIBERGLASS, LOW PRESSURE INSULATION WITH WHITE UNIVERSAL JACKET. ALL INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
17. ALL BALL/CONTROL/BALANCING VALVES WHICH ARE NOT READILY ACCESSIBLE VIA LID-IN CEILING OR OPEN TO SPACE SHALL BE PROVIDED WITH AN ACCESSIBLE LICENSE PANEL LOCATED TO ENTIRE TYPE CAD-AL - ACCESS PANEL SHALL BE PROVIDED TO ANCHOR CEILING OR WALL FINISH.
18. ALL CONDENSATE PIPING SHALL BE INSULATED WITH 1" THICK ANNEALED INSULATION WITH GLASS JOINTS, OR 1/2" THICK FIBERGLASS INSULATION WITH VAPOR BARRIER BASIC TEMP.
19. ALL HORIZONTAL DRAINAGE PIPING ABOVE GRADE SHALL BE INSULATED WITH 1" THICK FIBERGLASS INSULATION WITH VAPOR BARRIER BASIC TEMP.
20. PROVIDE VACUUM BREAKERS WHERE AND BARRIERS CONNECTIONS ARE PRESENT ON WATER SUPPLY LINE.
21. WATER HAMMER ARRESTORS TO BE INSTALLED ON EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.
22. GAS PIPING INSTALLED ABOVE GRADE SHALL BE BLACK PIPE. GAS PIPING INSTALLED BELOW SHALL CONSIST OF YELLOW POLYETHYLENE GAS PIPE. ALL GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH 2012 INTERNATIONAL GAS CODE. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND CONFIRMING APPLIANCE MANUFACTURER'S RECOMMENDED GAS PRESSURES WITH THE DELIVERED WITHIN LINE AND REGULATOR.

ELECTRIC WATER HEATER SCHEDULE

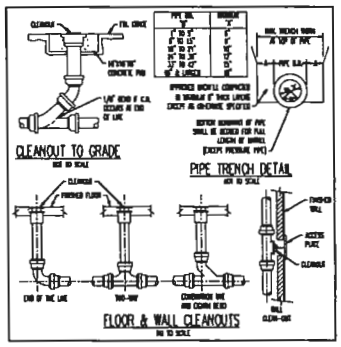
MARK	WH
DESIGN MANUFACTURER	[illegible]
MODEL NUMBER	[illegible]
GALLON CAPACITY	40 GAL.
RECOVERY @ 90 DEG. F. RISE	40 GPH
HEATING, CAP. (KW) – RCA-3MHA DIMENSIONS	1.5 KW
ELECTRICAL (VOLTS/HZ/PH)	208/60/1
NOTES: 1. ALTERNATIVE MANUFACTURERS: LICENSWAN, A.O. SMITH, STAGE WH. 2. PROVIDE RECIRCULATING PUMP. SEE SCHEDULE. 3. RECIRCULATING PUMP SHALL BE EQUIPPED W/ AUTOMATIC TIMER. 4. UNITS SHALL BE HOME LISTED.	
RECIRCULATING PUMP	
MARK	P-1
DESIGN MANUFACTURER	[illegible]
MODEL NUMBER	[illegible]
MOTOR POWER	1/6
RPM	[illegible]
ELECTRICAL	
VOLTS/HZ/PH	115/60/1
F.L.A.	2.1



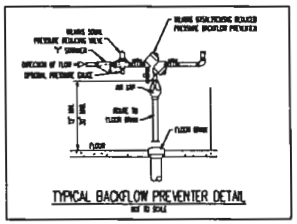
WH1 – ELECTRIC WATER HEATER DETAIL
NOT TO SCALE



FLOOR DRAIN DETAIL
NOT TO SCALE



FLOOR & WALL CLEANOUTS
NOT TO SCALE



TYPICAL BACKFLOW PREVENTER DETAIL
NOT TO SCALE

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RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

THESE DRAWINGS ARE INTENDED TO ILLUSTRATE GENERALLY THE PROPOSED SCOPE AND QUALITY OF THE PROJECT AND TO ASSIST IN OBTAINING A PRELIMINARY ESTIMATE OF CONSTRUCTION COST. THESE DOCUMENTS ARE NOT INTENDED FOR CONSTRUCTION FOR ARE THEY INTENDED TO BE COMPLETE OR FULLY DETAILED. THEY CONTAIN A LEVEL OF INCONSISTENCY COMMON TO PROGRESS DRAWINGS AT THE DESIGN DEVELOPMENT STAGE. THE FINAL CONSTRUCTION DOCUMENTS WILL MODIFY SOME OF THE INFORMATION CONTAINED HEREIN BASED ON ARCHITECTURAL REQUIREMENTS, DEVELOPMENT OF BUILDING SYSTEMS, OWNER CHANGES, AND COORDINATION OF INFORMATION.

PLUMBING SCHEDULES, NOTES, DETAILS

PRELIMINARY - NOT FOR CONSTRUCTION

FACILITY SYSTEMS CONSULTANTS, LLC

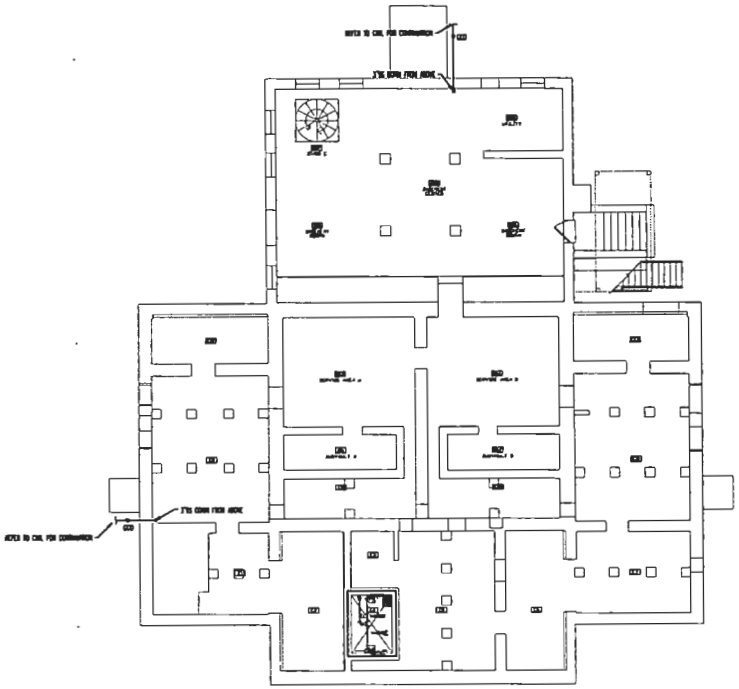
12/28/2022
DESIGN DEVELOPMENT PROGRESS PRINT FOR REVIEW
BIM PROJECT NUMBER

P0.1

BREWER INGRAM FULLER Architects Inc.

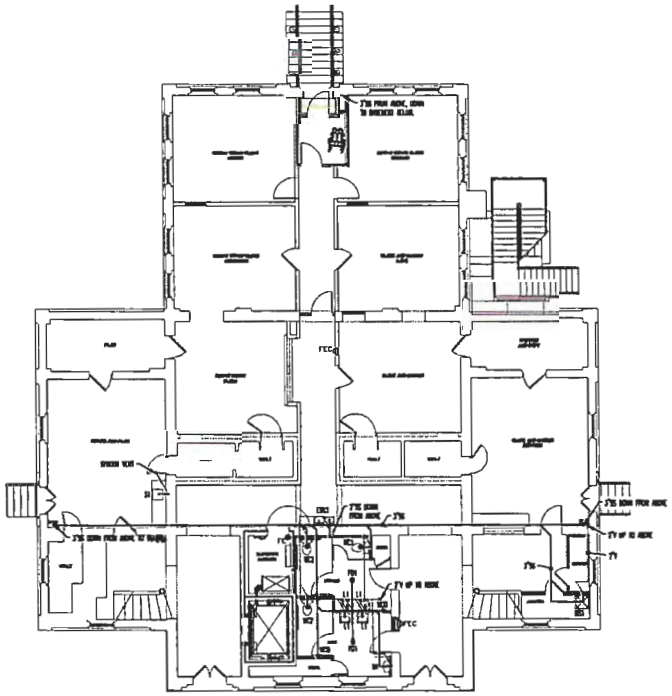
Loudon County Courthouse

RENOVATION PHASE 2



BASEMENT SANITARY PLAN

SCALE: 1/8"=1'-0"



FIRST LEVEL SANITARY PLAN

SCALE: 1/8"=1'-0"

DESIGN DEVELOPMENT DOCUMENTS
NOT FOR CONSTRUCTION

THESE DRAWINGS ARE INTENDED TO ILLUSTRATE GENERALLY THE PROPOSED SCOPE AND QUALITY OF THE PROJECT AND TO ASSIST IN OBTAINING A PRELIMINARY ESTIMATE OF CONSTRUCTION COST. THESE DOCUMENTS ARE NOT INTENDED FOR CONSTRUCTION NOR ARE THEY INTENDED TO BE COMPLETE OR FULLY DETAILED. THEY CONTAIN A LEVEL OF INCONSISTENCY COMMON TO PROGRESS DRAWINGS AT THE DESIGN DEVELOPMENT STAGE. THE FINAL CONSTRUCTION DOCUMENTS WILL MODIFY SOME OF THE INFORMATION CONTAINED HEREIN BASED ON ARCHITECTURAL REQUIREMENTS, DEVELOPMENT OF BUILDING SYSTEMS, OWNER CHANGES, AND COORDINATION OF INFORMATION.

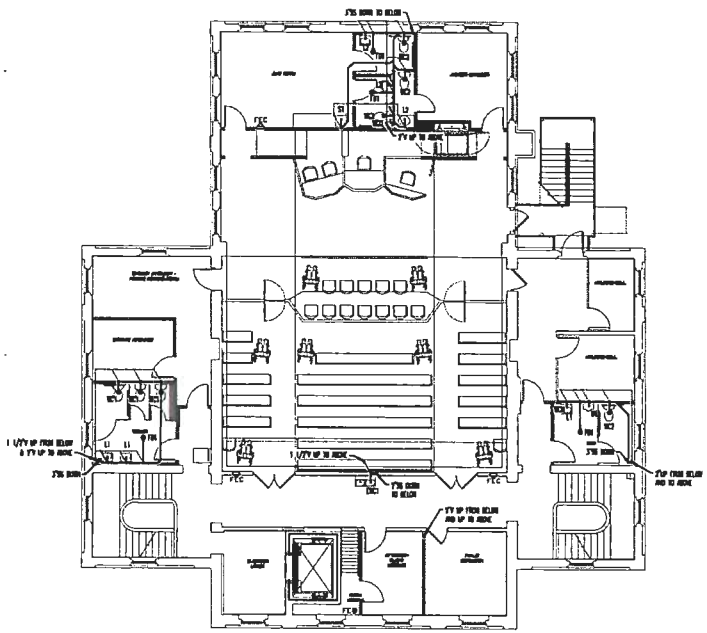
FIRST LEVEL + BASEMENT SANITARY PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

FACILITY SYSTEMS CONSULTANTS, LLC

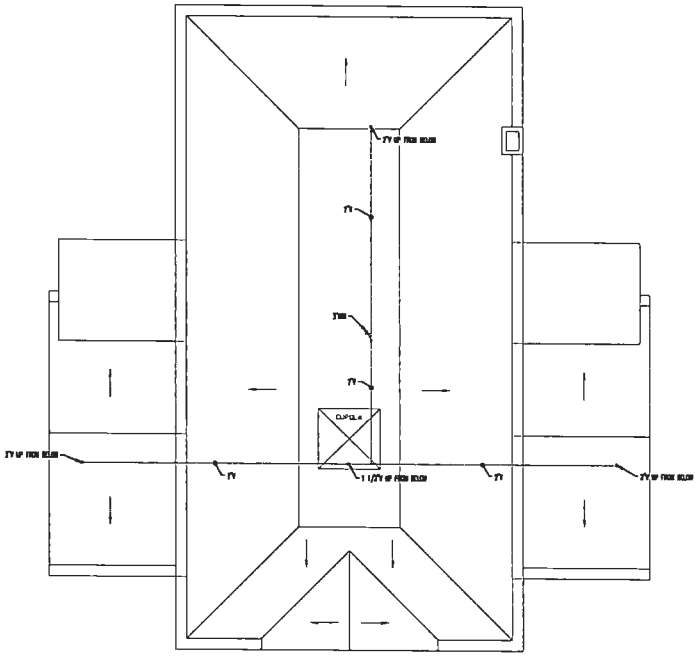
D/28/2020
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
2216 PROJECT NUMBER

P1.1



SECOND LEVEL SANITARY PLAN

SCALE: 1/8"=1'-0"



ROOF SANITARY PLAN

SCALE: 1/8"=1'-0"

BREWER INGRAM FULLER Architects Inc.

Loudon County Courthouse

RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

THESE DRAWINGS ARE INTENDED TO ILLUSTRATE GENERALLY THE PROPOSED SCOPE AND QUALITY OF THE PROJECT AND TO ASSIST IN OBTAINING A PRELIMINARY ESTIMATE OF CONSTRUCTION COST. THESE DOCUMENTS ARE NOT INTENDED FOR CONSTRUCTION NOR ARE THEY INTENDED TO BE COMPLETE OR FULLY DETAILED. THEY CONTAIN A LEVEL OF INCONSISTENCY COMMON TO PROGRESS DRAWINGS AT THE DESIGN DEVELOPMENT STAGE. THE FINAL CONSTRUCTION DOCUMENTS WILL MODIFY SOME OF THE INFORMATION CONTAINED HEREIN BASED ON ARCHITECTURAL REQUIREMENTS, DEVELOPMENT OF BUILDING SYSTEMS, OWNER CHANGES, AND COORDINATION OF INFORMATION.

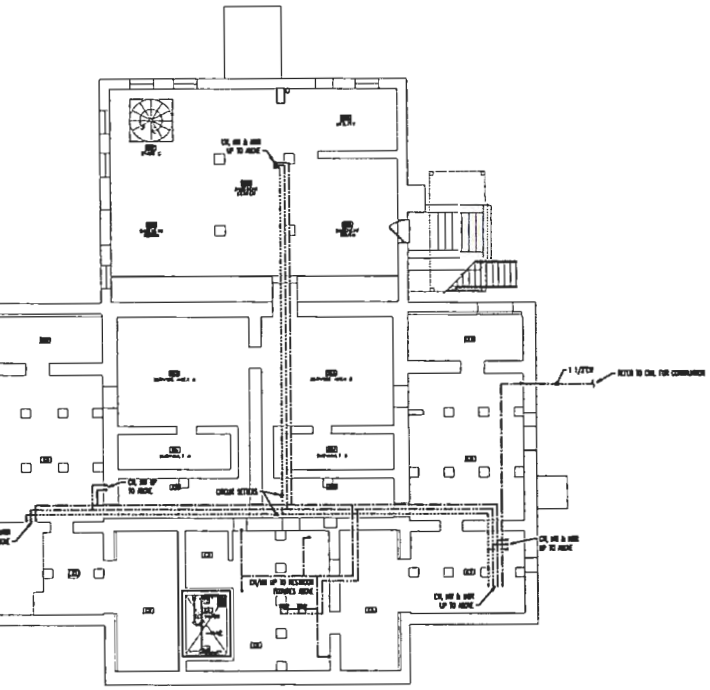
SECOND LEVEL + ROOF SANITARY PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

FACILITY SYSTEMS CONSULTANTS, LLC

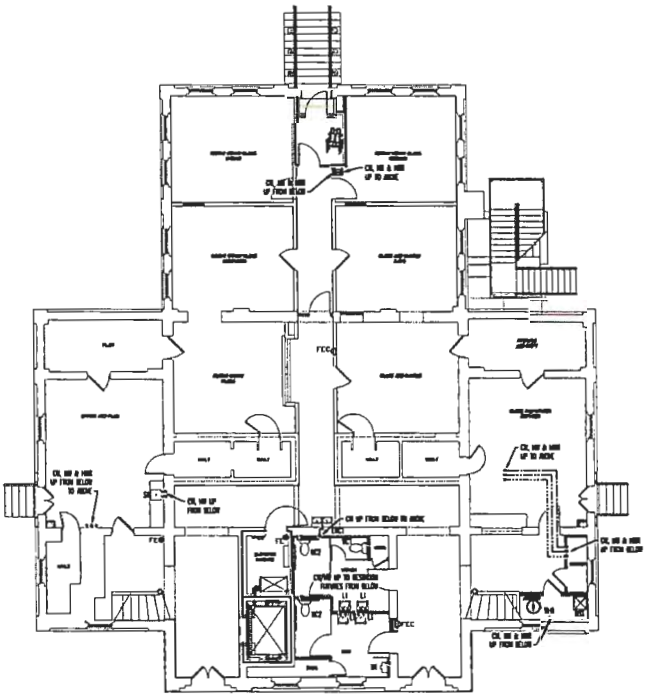
10/28/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
2016 PROJECT NUMBER

P1.2



BASEMENT DOMESTIC WATER PLAN

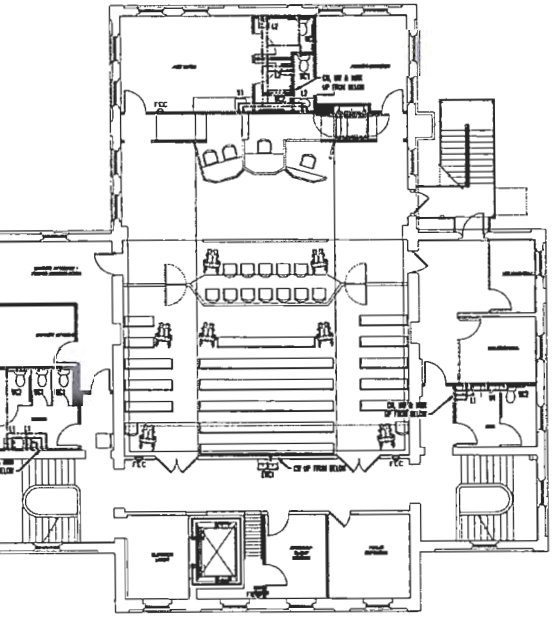
SCALE: 1/8"=1'-0"



FIRST LEVEL DOMESTIC WATER PLAN

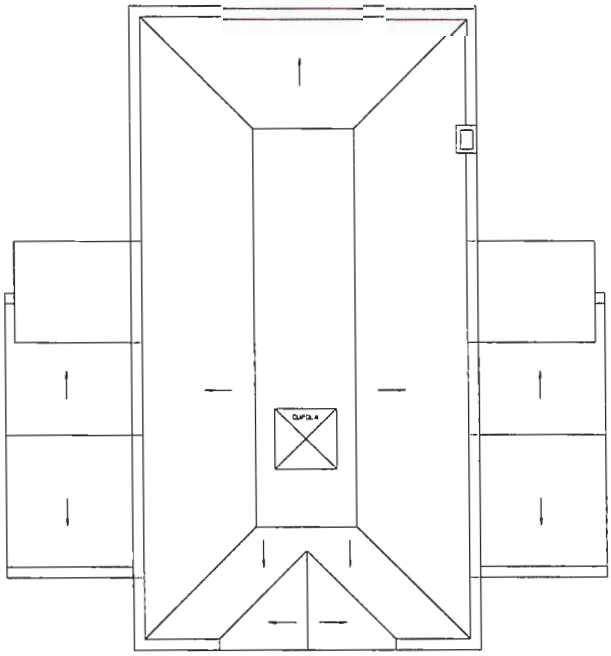
SCALE: 1/8"=1'-0"

FACILITY SYSTEMS CONSULTANTS, P.L.C.



SECOND LEVEL DOMESTIC WATER PLAN

SCALE: 1/8"=1'-0"



ROOF DOMESTIC WATER PLAN

SCALE: 1/8"=1'-0"

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Preliminary Sprinkler Calculation Sheet #1

Flow test Date		
Static Pressure:	—	psi
Residual Pressure:	—	psi
Flow (GPM) :	—	gpm
Date taken:	—	
Time:	—	
Test taken by:	—	
Elevation of Hydrant:	—	

CALCULATIONS INCOMPLETE PENDING FLOW TEST

GPM Demand of BLDG.

Most remote area or highest demand (Room Name)	LIGHT HAZARD	
Design Density (NFPA 13 or supplied by Insurance Co.)	0.1	
Design Area (Square footage)	1500	sq. ft.
Overage Factor (1.20 typ.)	1.2	
Remote area GPM demand(Density x Area x Overage)	180	gpm
Standpipe GPM demand (If required)(500 gpm for the first, 250 after)	750	gpm
Hose GPM demand (100 Light, 250 ordinary, 500 extra hazard)	100	gpm
Total GPM (Remote Area + Standpipe + Hose)	1030	gpm

Available Pressure

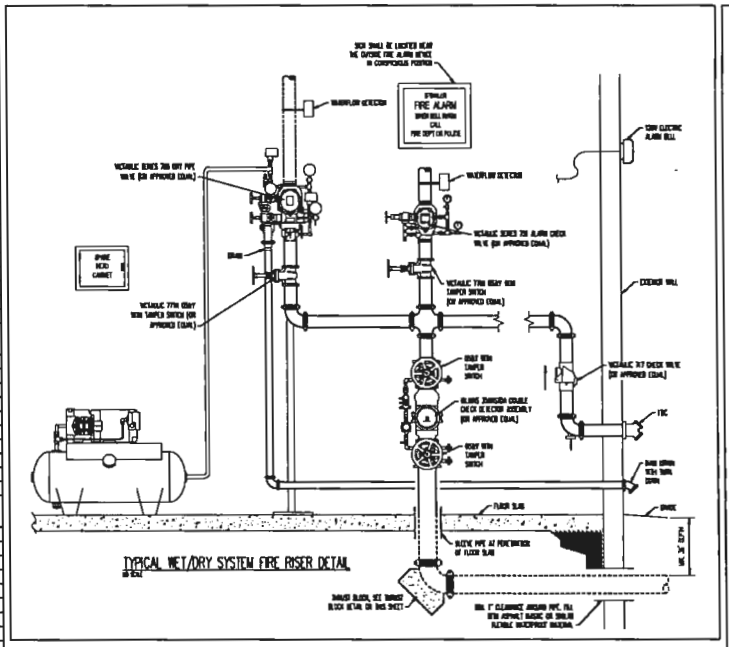
Density	0.1	
Max Sprinkler Head coverage (As per NFPA 13 table 8.6.2.2(a-d))	225	sq. ft.
Square footage spacing x Density = GPM sprinkler head (Q)	22.5	gpm
K-Factor of Sprinkler head (K)	5.6	(K)
Equation: Pressure required at head=(Q / K)2	16.14317802	psi
Elevation difference from test hydrant to base of riser x .433	10	ft
Elevation difference from base of riser to remote area x .433	18	ft
Backflow Preventer pressure drop	6	psi
Safety Factor (5 psi min.) (SF)	5	psi
Fixed Pressure drop =	41.26717602	psi

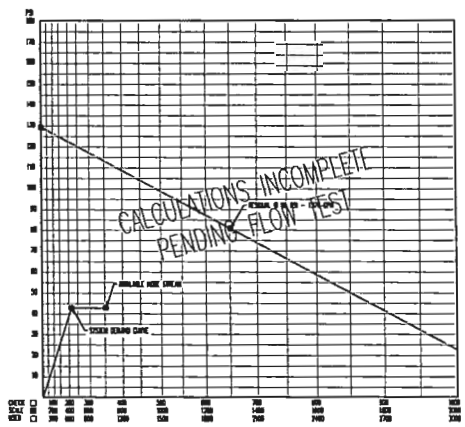
Estimated Friction Drop Thru Fire Line

Length of run from test hydrant to riser (HW)	100	Lin. Ft.
Pipe C Factor (Ductile Iron C-100)	100	
Nominal Pipe Inside Diameter (8", 6", 4")	6	
	1893896.177	
	3087482.29	
Friction loss in pipe (psi/ft) (Based on Hazen William Equation)(HW1)	0.05486441	psi/ft
HR x 1.30 x HW1 =	7.13373266	Est. psi/sq/ft
Length of run from riser to last sprinkler head (estimated.) (RS)	150	Lin. Ft.
Base of Riser to farthest sprinkler	18	
Pipe C Factor (Black Steel C-120)	120	
Nominal Pipe Inside Diameter (8", 4")	4	
	1402270.797	
	8005081.547	
Friction loss in pipe (psi/ft) (Based on Hazen William Equation)(HW2)	0.23361408	psi/ft
RS x 1.30 x HW2 =	45.53634764	Est. psi/sq/ft

Estimated Required Flow Data for Building

	46.63634764	
Required GPM	1030	gpm
Required psi	86.80256366	psi





HYDRAULIC GRAPH

SPRINKLER HEAD LEGEND

SYMBOL	TYPE	TEMP	K	AVG PRESSURE	MINIMUM	MAXIMUM	MODEL	SERIES	COMMENTS
	SPRINKLER	165°	5.6	17.5	7.0	12.0	TY-FRB	TY-FRB	QUICK RESPONSE
	PENDENT	165°	5.6	17.5	7.0	12.0	TY-FRB	TY-FRB	QUICK RESPONSE
	WALL	155°	5.6	17.5	7.0	12.0	TY-226	B6-1	QUICK RESPONSE, DRY
	WALL WALL	165°	5.6	17.5	7.0	12.0	TY-256	TY-256	QUICK RESPONSE, SIDEWALL
	WALL	155°	5.6	17.5	7.0	12.0	TY-FRB	TY-FRB	QUICK RESPONSE

- PROVIDE ALL BRACING, SUPPORTS AND HANGERS PER NFPA 13 – 2010 EDITION
- "NC" DENOTES NOT CLOSED
- COORDINATE SPRINKLER HEAD FINISH WITH ARCHITECT

FIRE SPRINKLER DESIGN NOTES:

1. FIRE SPRINKLER CONTRACTOR SHALL PROVIDE A FIRE SPRINKLER SYSTEM DESIGN COMPLIANT WITH ALL APPLICABLE PROVISIONS OF NFPA 13 2013 EDITION, FURNISH AND INSTALL A WET SPRINKLER SYSTEM THROUGHOUT THE BUILDING.
2. THESE DRAWINGS ARE SCHEMATIC FOR DESIGN INTENT ONLY AND THE DESIGN-BUILD CONTRACTOR IS RESPONSIBLE FOR A COMPLETE AND FUNCTIONAL SYSTEM WITH ANY NECESSARY APPURTENANCES.
3. FIRE SPRINKLER SHOP DRAWINGS (2 SETS OF WORKING PLANS, PRODUCT DATA AND HYDRAULIC CALCULATIONS) ARE TO BE SUBMITTED FOR REVIEW AFTER THE CONTRACTOR OF RECORD IS SATISFIED THAT THE SHOP DRAWINGS MEET THE REQUIREMENTS OF THE NFPA 13 AND THE PROJECT DOCUMENTS. THE ENGINEER OF RECORD SHALL CITE SUCH APPROVAL ON THE SHOP DRAWINGS.
4. ALL REVISE DESIGN DRAWINGS AND CALCULATIONS SHALL BE SEALED BY A SPRINKLER SYSTEM ENGINEER OR RAAS, LICENSED IN THE STATE OF TENNESSEE.
5. THE SPACES ARE CLASSIFIED AS "LIGHT HAZARD" EXCEPT BACK ROOMS INCLUDE BUILDING DESIGN, DESIGN CALCULATIONS SHALL INCLUDE SPRINKLERS TO PROVIDE A DESIGN DENSITY OF 0.10 GPM/FT FOR THOSE OCCUPANCIES. ARMORY CLOSETS, MECHANICAL ROOMS, AND OVERHEAD STORAGE AREAS SHALL BE CLASSIFIED AS "ORDINARY HAZARD", USING A DESIGN DENSITY OF 0.15 GPM/FT.
6. PIPE AND FITTINGS
   A. BLACK-IRON PIPE: ASTM A135, PUSH-ON-JOINT TYPE, THIN CONTOUR-GROOVE LOOSE AND SEAL COUP ACCORDING TO ASTM A536. INCLUDE FITTINGS GROOVED ACCORDING TO ASTM A135.
   B. BLACK-IRON PIPE: ASTM A135, MECHANICAL-JOINT TYPE; THIN CONTOUR-GROOVE LOOSE AND SEAL COUP ACCORDING TO ASTM A536. INCLUDE GLAND, RUBBER ACCORDING TO ASTM D422 AND MATCHING LOCK PIN. ELIMINATOR SHELL AND WASHERS, AND BOLTED OUTLET TEES PIPE WASHERS. INCLUDE ADAPTERS, LARGER CUPS, CONNECTS, AND BRONZE CHANGE, ADAPTERS TEMPS, CONNECTION AND DROP CLAMPER FOR EACH HOSE-CONNECTION VALVE; LOCATED 1½" INCH (40-MM) HIGH BRASS BLOCK; AND ROUND, FLOOR BRASS, ESCUTCHEON PLATE WITH MARKING "AUTO SPRIN."
      1. FROM INCLUDING BLOCK: POLISHED CHROME-PLATED.
      2. FROM INCLUDING BLOCK: WALLS CHROME-PLATED.
      3. FROM INCLUDING BLOCK: POLISHED BRASS.
   C. STEEL PIPE: ASTM A53 OR ASTM A135, ALL FITTINGS SHALL COMPLY WITH NFPA 13.
   D. CHROME APPLICABLE: ELECTROPLATED (ON APPROVED) CPVC SCH 13.5 CPVC PIPE AND FITTINGS (OR APPROVED EQUAL)
7. CONTRACTOR SHALL COORDINATE WITH ARCHITECT TO ENSURE INSULATION IN ATTIC COMPLETELY COVERS PIPING FOR DRY PIPE SPRINKLER SYSTEM. PIPING MAY INCLUDE INSULATION THROUGH ATTIC/PARTITIONS IN ACCORDANCE WITH NFPA 13A. CONFIRM WITH ARCHITECT.
8. QUICK RESPONSE SIDEWALL SPRINKLERS SHALL BE INSTALLED AT EACH SIDEWALL LOCATION.
9. A DRY WALL SPRINKLER SHALL BE PROVIDED AT THE BOTTOM OF ELEVATOR SHAFT AND LOCATED PER NFPA CODE. AN APPROVED SPRAY HEAD SHALL BE LOCATED AT THE TOP OF THE ELEVATOR SHAFT AND SHALL BE OF ORDINARY OR INTERMEDIATE TEMPERATURE RANGE PER NFPA 13 STANDARDS.
10. ALL DESIGN VALVES AND GAUGES SHALL BE ACCESSIBLE FOR OPERATION, INSPECTION, TEST, AND MAINTENANCE.
11. AIR COMPRESSOR SHALL BE PROVIDED FOR DRY PIPE SYSTEMS. PROVIDE AIR PIPING TUBES, GAUGES AND PRESSURE SENSORS AS PER NFPA.
12. COORDINATE LOCATION OF SPRINKLER WITH ALL OTHER DISCIPLINES. SPRINKLER HEADS SHALL BE CENTERED OR ELIMINATED IN CEILING TILE VALVES BOXES OVERSIZED. ALL SPRINKLERS IN DRY CEILING TO BE ON RETURN BENDS OR ONLY FLEXIBLE SPRINKLER DROP INCLUDE HOSE ON APPROVED EQUAL.
13. COORDINATE WITH THE ELECTRICAL CONTRACTOR FOR INSTALLATION AND MONITORING OF ALL TAMPER AND FLOW SWITCHES. FLOW SWITCHES AND ALARM CHECK VALVES SHALL BE CONNECTED TO SCHEMA FIRE ALARM AND SHALL SOUND WITHIN 30 SECONDS OF FLOW.
14. CONTRACTOR SHALL SUPPLY FLEXIBLE PIPE COUPLINGS ON ALL PIPES 2" OR LARGER AT ALL FLEXIBLE JOINTS PER NFPA 13. FLEXIBLE COUPLINGS SHALL ALSO BE PROVIDED WITHIN 2" OF BOTH SIDES OF SUPPORTING ELEMENTS THAT PIPING PASSES THROUGH.
15. ALL PIPING SHALL HAVE TAMPERED INSTALLED PER NFPA 13.
16. SPARE HOSE CABINET SHALL BE LOCATED AS CLOSE TO RISER AS POSSIBLE AND MUST CONTAIN A MINIMUM OF 100 HOSES. THIS SHALL INCLUDE TWO SPRINKLER HEADS OF EACH TYPE AND TEMPERATURE RANGE.
17. A 500 GPM DOUBLE VARIANT SHALL BE ADDED TO THE SPRINKLER REQUIREMENTS FOR COMBINED HOSE AND SUPPLY HOSE, IN THE FORM OF CONNECTION TO THE SYSTEM.
18. ALLOW 10 PSI PRESSURE LOSS WITH FACTOR FOR REDUCTION ON FLUCTUATION OF WATER PRESSURE.
19. PERFORMANCE OF FIRE AND SMOKE BARRIERS/PENETRATIONS SHALL BE INDEPENDENTLY TESTED/PROVIDED. ALL ALSO PROVIDE DETAILS ON SITE.
20. THE PRESENT WATER SUPPLY SERVICE SERVING THE FACILITY AND HAS BEEN DETERMINED BY BEING ADEQUATE FOR THE FIRE PROTECTION SERVICE. RECONSIDERATION WILL BE MADE UPON RECEIVING FLOW TEST DATA.

SEISMIC NOTES:

1. THE SEISMIC BRACING SHOWN ON THE DRAWINGS SERVE FOR THE MINIMUM REQUIREMENTS IN ACCORDANCE WITH NFPA 13. CONTRACTOR SHALL FURNISH AND INSTALL ADDITIONAL SEISMIC BRACING AS NEEDED ACCORDING TO SEISMIC LOAD CALCULATION. SEISMIC BRACING SHALL BE DESIGNED TO PREVENT DOWN, SHAKEDOWN AND LONGITUDINAL DISPLACEMENT FORCES.
2. FLEXIBLE COUPLINGS SHALL BE INSTALLED WITHIN 12" ABOVE AND WITHIN 24" BELOW FLOOR FOR/BRANCHES. COUPLINGS SHALL ALSO BE INSTALLED WITHIN 24" OF THE TOP AND BOTTOM OF ALL RISERS.
3. PIPES PASSING THROUGH WALLS OR FLOORS SHALL HAVE A CLEARANCE OF 2"/4 LARGER THAN THE PIPE FOR PIPES UP TO 20" AND 4"/6 LARGER THAN THE PIPE FOR PIPES OVER 6". WHERE REQUIRED, THE CLEARANCE SHALL BE FILLED WITH A FLEXIBLE MATERIAL THAT IS COMPATIBLE WITH THE PIPING MATERIAL.
4. BRANCH LINES SHALL HAVE A DEFLECTION 3-WEEK ACCORDING OR NO. 12, WHICH WILL INSTALLED AT LEAST 45 DEGREES FROM THE VERTICAL PLANE AND PERPENDICULAR BRACE SIZE OF PIPE. BRANCH LINE RETAINERS SHALL BE SPACED NO MORE THAN 20' APART.
5. ALL BRACES TO BE CONNECTED AT A MINIMUM OF 30° TO A MAXIMUM OF 45° ANGLE.
6. ALL PIPING WITH A DIAMETER OF 1 1/4" OR LARGER SHALL BE PROVIDED WITH LATERAL SWAY BRACING. BRACES SHALL BE SPACED PER NFPA 13 WITH NO MORE THAN 40' BETWEEN BRACE NOMINALS. WHERE FLEXIBLE COUPLINGS ARE INSTALL ON MAINS LATERAL BRACES SHALL BE INSTALL WITHIN 24" OF COUPLING.
7. BRACING SHALL BE ATTACHED DIRECTLY TO FIXED AND CROSS BEAMS.
8. WHERE C-TYPE CLAMPS ARE USED TO ATTACH HANGERS TO THE BUILDING STRUCTURE THEY SHALL BE CLAMPED WITH A RESTRAINING STRAP AND SHALL WRAP AROUND THE BEAM FLANGE NOT LESS THAN 1".

LEGEND

- FLEXIBLE COUPLING
- LATERAL BRACE
- LONGITUDINAL BRACE
- A-BRAT BRACE
- PIPE UP
- PIPE DOWN
- INSTALLED/FLY HOSE REMOVE AND A

PIPING LEGEND

- NOT FIRE LINE
- DRY FIRE LINE

FACILITY SYSTEMS CONSULTANTS, LLC

BREWER INGRAM FULLER Architects Inc.

Loudon County Courthouse

RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS! NOT FOR CONSTRUCTION

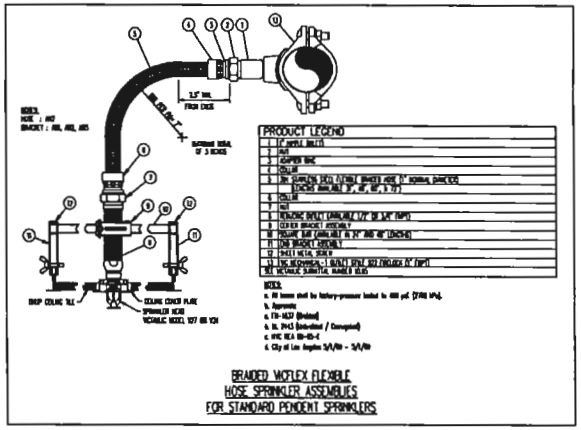
THESE DRAWINGS ARE INTENDED TO ILLUSTRATE GENERALLY THE PROPOSED SCOPE AND QUALITY OF THE PROJECT AND TO ASSIST IN OBTAINING A PRELIMINARY ESTIMATE OF CONSTRUCTION COSTS. THESE DOCUMENTS ARE NOT INTENDED FOR CONSTRUCTION NOR ARE THEY INTENDED TO BE COMPLETE OR FULLY DETAILED. THEY CONTAIN A LEVEL OF INCONSISTENCY COMMON TO PROGRESS DRAWINGS AT THE DESIGN DEVELOPMENT STAGE. THE FINAL CONSTRUCTION DOCUMENTS WILL MODIFY SOME OF THE INFORMATION CONTAINED HEREIN BASED ON ARCHITECTURAL REQUIREMENTS, DEVELOPMENT OF BUILDING SYSTEMS, OWNER CHANGES, AND COORDINATION OF INFORMATION.

FIRE PROTECTION SCHEDULES, NOTES, DETAILS

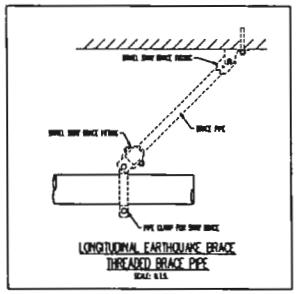
PRELIMINARY - NOT FOR CONSTRUCTION

05/28/2025
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
JOB PROJECT NUMBER

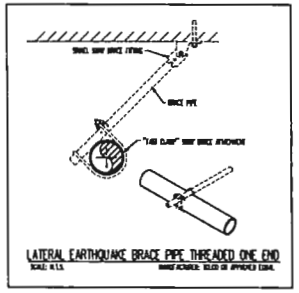
FP0.1



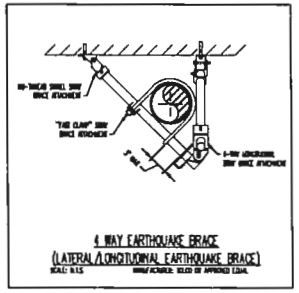
BRAIDED WOFLEX FLEXIBLE
HOSE SPRINKLER ASSEMBLIES
FOR STANDARD PENDENT SPRINKLERS



LONGITUDINAL EARTHQUAKE BRACE
THREADED BRACE PIPE
SCALE: N.T.S.



LATERAL EARTHQUAKE BRACE PIPE THREADED ONE END
SCALE: N.T.S.



4 WAY EARTHQUAKE BRACE
(LATERAL/LONGITUDINAL EARTHQUAKE BRACE)
SCALE: N.T.S.

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RENOVATION PHASE 2

DESIGN DEVELOPMENT DOCUMENTS
NOT FOR CONSTRUCTION

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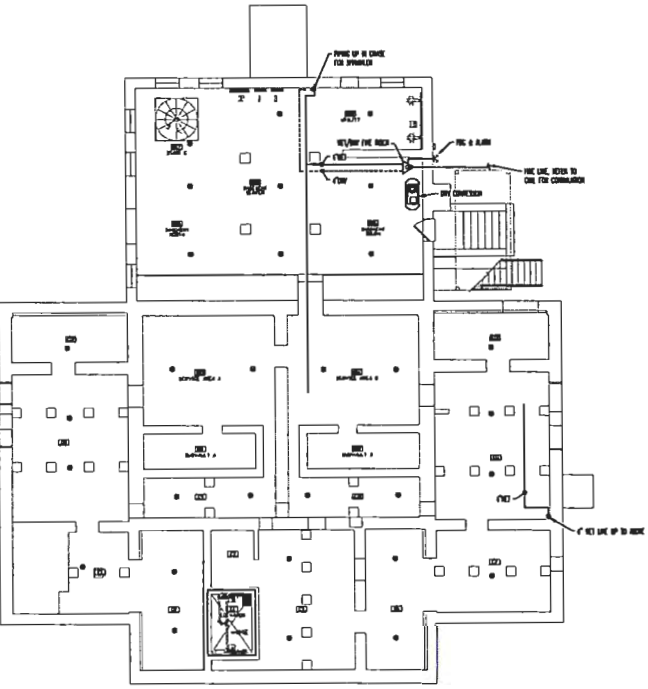
FIRE PROTECTION
DETAILS

PRELIMINARY
- NOT FOR
CONSTRUCTION

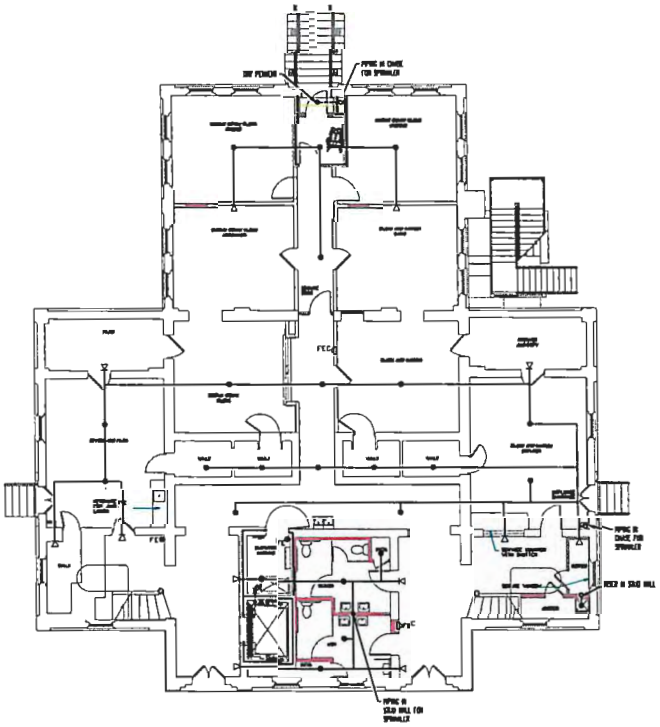
FACILITY SYSTEMS CONSULTANTS, LLC

6/26/2020
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
SFM PROJECT NUMBER

FP0.2

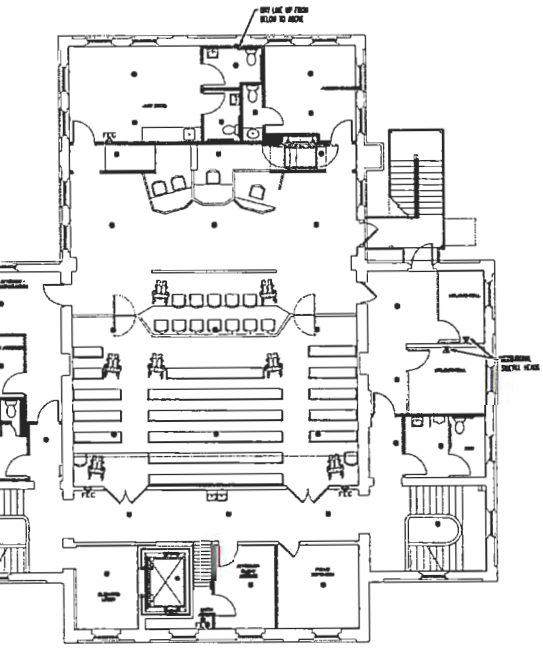


BASEMENT FIRE PROTECTION PLAN



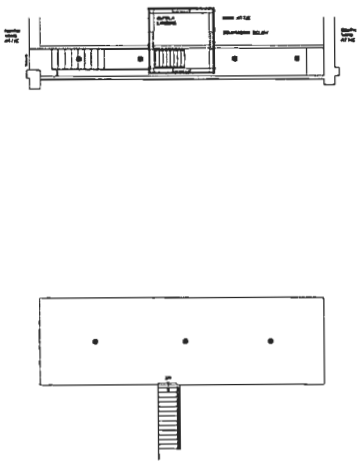
FIRST LEVEL FIRE PROTECTION PLAN

FACILITY SYSTEMS CONSULTANTS, LLC



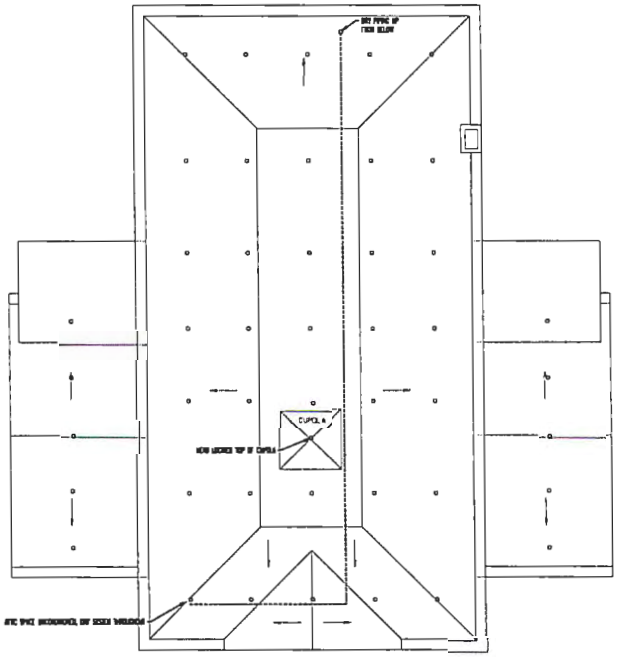
SECOND LEVEL FIRE PROTECTION PLAN

SCALE: 1/8"=1'-0"



PARTIAL MEZZANINE FIRE PROTECTION PLAN

SCALE: 1/8"=1'-0"



ATTIC FIRE PROTECTION PLAN

SCALE: 1/8"=1'-0"

FACILITY SYSTEMS CONSULTANTS, LLC

LEGEND

SYMBOL	DESCRIPTION
	HOUSE, PREMISE AND MANUAL IN ACCORDANCE WITH LOCAL UTILITY COMPANY REQUIREMENTS.
	PANELBOARD, MOUNT TOP 6'-0" AFF OR 6"-0" AFF ON TOP OF BACKBOX IN UNFINISHED AREAS, REFER TO PANELBOARD SCHEDULES FOR REQUIREMENTS. SEE NOTE DESCRIBING IN FRONT BALLOON DRAWING NOTES.
	CHASING PANELBOARD.
	TELEPHONE/COMMUNICATIONS TERMINAL BOARD. PROVIDE 3/4" C.O. 1" PLYWOOD BACKBOARD PAINTED WITH GRAY FIRE RETARDANT PAINT. MOUNT TOP 6'-0" AFF. PROVIDE GROUND BUS SIMILAR TO ALUMINUM COMPANY MODEL NUMBER 4H4H4H4H, 6" BY 36". EXTEND (4) WIRE WIRE COPPER FROM GROUND BUS TO SERVICE GROUNDING PANEL/ASSEMBLY AND BOND TO GROUNDING SYSTEM.
	HOME RUN TO PANEL. WITH CIRCUIT NUMBER SHOWN. CROSS HATCHED INDICATE NUMBER OF CONDUCTORS CARRYING CONDUCTORS INCLUDE HOT, WHITE, BLACK, RED, INCLUDING GROUND, MINIMUM (2) #12 AWG.
	DEDICATED WIRING
	UNDERGROUND WIRING
	FLUORESCENT OR LED LIGHTING FIXTURE; "F" INDICATES TYPE, REFER TO LIGHTING FIXTURE SCHEDULE. "X" CORRESPONDS TO CONTROLLING SWITCH.
	HID, INCANDESCENT, LED, OR COMPACT FLUORESCENT LIGHTING FIXTURE; "F" INDICATES TYPE, REFER TO LIGHTING FIXTURE SCHEDULE. "X" CORRESPONDS TO CONTROLLING SWITCH.
	EXIT SIGN, SINGLE DIAGONAL INDICATE NUMBER OF FACES, PROVIDE DIRECTIONAL ARROWS AS SHOWN. WHERE WALL MOUNTED, INSTALL 80" AFF, UNIT SHALL BE COMPLETE WITH UNIFORM, BATTERY BACK-UP. REFER TO TYPE CS IN LIGHTING FIXTURE SCHEDULE.
	EMERGENCY LIGHT/EXIT SIGN, SINGLE DIAGONAL INDICATE NUMBER OF FACES, PROVIDE DIRECTIONAL ARROWS AS SHOWN. WHERE WALL MOUNTED, INSTALL 80" AFF, UNIT SHALL BE COMPLETE WITH UNIFORM, BATTERY BACK-UP. REFER TO TYPE CS IN LIGHTING FIXTURE SCHEDULE.
	EMERGENCY LIGHT; WHERE WALL MOUNTED, INSTALL 80" AFF, UNIT SHALL BE COMPLETE WITH UNIFORM, BATTERY BACK-UP. REFER TO TYPE CS IN LIGHTING FIXTURE SCHEDULE.
	EXIT INDICATOR (EMERGENCY LIGHT); UNIT SHALL BE NOT LUMINOUS LENSED AND EQUIPPED WITH UNIFORM, BATTERY BACK-UP. REFER TO TYPE CS IN LIGHTING FIXTURE SCHEDULE.
S	LIGHT SWITCH, TOGGLE, 20 AMP, 277V, MOUNT 48" AFF, UNLS. "X" CORRESPONDS TO FIXTURES CONTROLLED BY SWITCH.
S3	3-WAY LIGHT SWITCH, 20 AMP, 277V, MOUNT 48" AFF, UNLS.
	OCCUPANCY SENSOR CEILING MOUNT, DUAL TECHNOLOGY LOW VOLTAGE, CLEAR MOUNTED, WHITESPACE MODEL NO. DESIGN OR APPROVED EQUAL, BY SCHEDULE SHEET, PROVIDE 12-300 POWER PACK.
	OCCUPANCY SENSOR CEILING MOUNT, DUAL TECHNOLOGY LOW VOLTAGE, WALL MOUNTED, WHITESPACE MODEL NO. DESIGN OR APPROVED EQUAL, BY SCHEDULE SHEET, PROVIDE 12-30 POWER PACK.
	OCCUPANCY SENSOR, DUAL TECHNOLOGY, WALL MOUNTED, WHITESPACE 10-100 OR EQUAL, INSTALL 48" AFF
	PHOTOCELL SENSOR
J	JUNCTION BOX, SIZE AND USE AS REQUIRED
	20A, 125V, 2 POLE, 3 WIRE, GROUNDING DUPLEX RECEPTACLE WALL 48" AFF, UNLS.
	20A, 125V, 2 POLE, 3 WIRE, GROUNDING DUPLEX RECEPTACLE WALL 18" AFF, UNLS. "X" INDICATES DEVICE WITH USB CHARGING PORT.
	20A, 125V, 2 POLE, 3 WIRE, GROUNDING GFCI RECEPTACLE, TWO GANG BOX, WALL 48" AFF, UNLS.
	20A, 125V, 2 POLE, 3 WIRE, GROUNDING GFCI RECEPTACLE, TWO GANG BOX, WALL 48" AFF, UNLS.
	FLOOR BOX, SIZE VARIES (2L, 4GGS), NO. DEVICES SHOWN CONCE, PROVIDE DUPLEX RECEPTACLE AND APPROPRIATE BRACKETS FOR WIRE MOUNT. SHALL BE SIZED AS SHOWN ON BOOK PLANS FOR WIRING REQUIREMENTS.
	EXHAUST FAN, PROVIDE 120 VOLT CONNECTION FOR USE.
	HEAVY DUTY FUSED DISCONNECT SWITCH, PROVIDE FUSES AS RECOMMENDED BY EQUIPMENT OPTION, USE NEMA CONFIGURATION AS REQUIRED
	ELECTRIC HEATER
	COMMUNICATION PHONE AND DATA OUTLET. PROVIDE 1" CONDUIT FROM WALL SHALL CONTAIN DEVICE BOXES. SHALL 1" CONDUIT WITH PULLSTRING FROM BOX TO LOCATION ABOVE ACCESSIBLE CEILING AS REQUIRED ON DRAWINGS. PROVIDE BUSHING ON OPEN END OF CONDUIT, MIN 48" AFF, UNLS. SHALL BE 12" ABOVE CEILING.
	COMMUNICATION PHONE AND DATA OUTLET. PROVIDE 1" CONDUIT FROM WALL SHALL CONTAIN DEVICE BOXES. SHALL 1" CONDUIT WITH PULLSTRING FROM BOX TO LOCATION ABOVE ACCESSIBLE CEILING AS REQUIRED ON DRAWINGS. PROVIDE BUSHING ON OPEN END OF CONDUIT, MIN 48" AFF, UNLS. SHALL BE 12" ABOVE CEILING.
	AREA OF DEVICE ASSIGNED TO ONE COMMUNICATION DEVICE. MOUNT 18 INCHES AFF TO BE 60" TOP. CONNECT TO UNDER SHEET A WITH CONNECT OF EQUIPT TO ALLOW VARIOUS COMMUNICATIONS AND NOTIFICATIONS TO 1ST RESPONDERS. USE CONSULT COMPANY EQUIPMENT OR EQUAL.
TV	TELEVISION OUTLET. PROVIDE 1" CONDUIT FROM BOX TO LOCATION ABOVE ACCESSIBLE CEILING. PROVIDE BUSHING ON OPEN END OF CONDUIT, MIN 48 1" AFF

FIRE ALARM DEVICE LEGEND

SYMBOL	DESCRIPTION OF DEVICE	DEVICE MODEL NUMBER(S)	MOUNT
FACP	FIRE ALARM CONTROL PANEL	[illegible]	TOP @ 6'-0"
M	STROBE ANNUNCIATOR PANEL	[illegible]	TOP @ 5'-0"
F	MANUAL PULL STATION	[illegible]	48"
1	SMOKE DETECTOR	[illegible] WITH [illegible] SOUNDER	CLG
M	DUCT MOUNTED SMOKE DETECTOR	[illegible]	DUCT MOUNTED
1	STROBE, DOUBLE SIDED SIGNAL	[illegible]	5'-0"
1 Ceil	STROBE/SMOKE WALL, 15cd, WCD	[illegible]	7'-0"
1 Ceil	STROBE/SMOKE WALL, 75cd, WCD	[illegible]	7'-0"
1 Ceil	STROBE/SMOKE WALL, 110cd, WCD	[illegible]	7'-0"
1	STROBE PAGER HORN/SMOKE WALL	[illegible]	7'-0"
1 Ceil	STROBE WALL, 15cd, WCD	[illegible]	7'-0"
	HORNER SMOKE	F.B.A.-SUPPLIED BY LOCAL DEALER [illegible]	AS REQUIRED
	FLOW SWITCH	F.B.A.-SUPPLIED BY LOCAL DEALER [illegible]	AS REQUIRED
1	FLOW SWITCHES LOW PRESSURE	[illegible]	CLG

NOTES:
[illegible]

FIRE ALARM WIRING SCHEDULE

DEVICE TYPE	WIRE GAUGE, SIZE, AND TYPE
INTERNET/DIRECT CIRCUIT, COMMUNICATION/DATA LINE	2 PAIR PAIRED/SHIELDED
SMOKE CIRCUIT, NORMAL/SMOKE CIRCUIT	2 PAIR
24 VDC INTERNET/DIRECT POWER	2 PAIR

NOTES:
FIRE ALARM SYSTEM WIRING SHALL BE INSTALLED IN CONDUIT.

COMMUNICATIONS NOTES:
1. CONTRACTOR SHALL FURNISH AND INSTALL ALL COORDINATED TELEPHONE AND DATA CONDUITS, BOXES, PLYWOOD TERMINAL BOARD, ETC.
2. HOME CONTRACTOR TO BE PROVIDED/INSTALLED BY OWNER.
3. PROVIDE APPROPRIATE BALLOON PULLSTRING/ROPE IN ALL EMPTY CONDUITS.

ELECTRICAL ABBREVIATIONS

ABBREVIATIONS	DESCRIPTION
A	AMPERE
AFF	ABOVE FINISHED FLOOR - MEASURED FROM FLOOR TO CENTER OF DEVICE, EXCEPT AS UNLESS SPECIFICALLY NOTED.
AWG	AMERICAN WIRE GAUGE/WIRE ACT OF TERM
C	CONDUIT
CB	MOUNTED DEVICE ON THE CEILING MOUNTED
F	FUSE
RH	FUSE AS REQUIRED
RHH	FUSE FOR BRACKET REQUIREMENTS
G	GROUND
GF	RECEPTACLE OR CIRCUIT BREAKER, AS APPLICABLE, TO BRING GROUND FAULT PROTECTION
HCR	Hard (HIGHARD CHICAGO RULE)
NEC	NATIONAL ELECTRICAL CODE
R	RECEPTACLE
PH	PHASE
SA	SPACE ONLY
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR, VENDOR SPEC SHEET CONTROL
UNS	UNLESS NOTED OTHERWISE
W	WATT OR FEET
WP	RECEPTACLE DEVICE TO BRING REACHPROOF COVER, BRONZE MODEL NO. DESIGN OR EQUAL.

GENERAL ELECTRICAL NOTES:
1. THE CONTRACTOR SHALL VISIT THE JOB SITE AND CAREFULLY EXAMINE THESE PORTIONS OF THE SITE AFFECTED BY THIS WORK TO BE ABLE TO BECOME FAMILIAR WITH EXISTING CONDITIONS THAT WILL AFFECT EXECUTION OF THE WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PAYING ALL ASSOCIATED FEES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT/APPLICABLE NATIONAL ELECTRICAL CODE, NFPA 70, LOCAL CODES/ORDINANCES AND THE APPLICABLE ACCESSIBILITY CODE. DETAILED PLANS AND GENERAL CONTRACT, THE CODE TAKES PRECEDENCE. WHERE NO CHANGES, EACH IS THE CODE OF CONFLICT, SEPARATE PRIOR REGARDING APPROVAL OF THE ARCHITECT/ENGINEER.
4. "PROVIDE" AS USED HERE AND ON THE DRAWINGS, IS AN ALL-INCLUSIVE TERM REQUIRING CONTRACTOR TO PURCHASE, INSTALL, WIRE, AND CONNECT ALL SPECIFIED EQUIPMENT AS WELL AS COMPONENTS, ACCESSORIES, AND REQUIRING ANCILLARY TO ENSURE THAT SPECIFIED EQUIPMENT FUNCTIONS TO MEET DESIGN REQUIREMENTS.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT SINCE FACILITIES AND EQUIPMENT FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR REPAIR OR REPLACEMENT OF FACILITIES, EQUIPMENT, OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE COMPLETION OF THIS WORK. ELECTRICAL CONTRACTOR SHALL USE ACCURATE INSTRUMENTS TO DETERMINE THE CALL, (800) 264-1111, PRIOR TO CONNECTION OF ANY EQUIPMENT.
6. PROVIDE SPECIFIED EQUIPMENT, AS NOTED ON DRAWINGS, OR APPROVED EQUAL. ADDITIONAL EQUIPMENT AND MATERIAL MAY BE REQUIRED BEYOND THOSE SHOWN ON DRAWINGS TO INSTALL THE SPECIFIED EQUIPMENT SUCH AS HANGERS, SUPPORTS, ETC. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, AND EQUIPMENT REQUIRED.
7. THE CONTRACTOR SHALL VERIFY THAT THE ACTUAL EQUIPMENT SUPPLIED AND THE SHOP ELECTRICAL SPECIFICATIONS AS THE EQUIPMENT USED IN THE DESIGN OF DESIGN. IF THE EQUIPMENT IS DIFFERENT, THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE PANELS AND CIRCUITS AND INCLUDE THEM IN SUBMITTALS.
8. ALL WORK SHALL BE NEW, UNLESS CONTRACTOR AND ENGINEER WILL ARE BE ALLOWED UNLESS SPECIFICALLY NOTED TO BE EXISTING OR REQUIRED ON REPAIRING PROJECT SITE.
9. ALL MATERIALS SHALL BE LISTED AND LABELED BY UNDERWRITERS LABORATORY, INC.
10. THE CONTRACTOR IS DIRECTED TO VERIFY THE SERVICE ARRANGEMENT WITH THE LOCAL ELECTRIC UTILITY BEFORE ORDERING EQUIPMENT. DESIGN IS BASED ON A 208/120 VOLT, THREE PHASE, FOUR WIRE, SOLIDLY GROUNDED WYE SERVICE. THIS DESIGN REFLECTS AN UNDERGROUND SERVICE WITH SERVICE CONDUITS AND CONDITIONS BY ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL INSTALL PRIMARY CONDUITS AND CONCRETE TRANSFORMER PAD AS SPECIFIED BY THE LOCAL ELECTRIC UTILITY.
11. UNLESS OTHERWISE INDICATED, THE CONTRACTOR SHALL SUBMIT A DETAIL (PDF) COPY OF ELECTRICAL SHOP DRAWINGS TO THE PROJECT MANAGER THAT SHALL RELAY BACK TO THE ARCHITECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PURCHASE OF EQUIPMENT. THE SUBMITTAL SHALL INCLUDE LIGHTING FIXTURES, STANDARD, EXTERIOR AND THE ALARM EQUIPMENT, WHICH INCLUDED IN THE PROJECT, OPTIONAL AND MAINTENANCE MANUALS FOR ALL ELECTRICAL EQUIPMENT SHALL BE COMPILED AND SUBMITTED IN DIGITAL (PDF) TO THE BUILDING OWNER UPON PROJECT COMPLETION.
12. ALL WIRES SHALL BE TERMINATED AND LABELED. ALL JUNCTION BOXES SHALL BE LABELED TO UNDERSTAND THE CIRCUITS CONTAINED IN THE BOX.
13. PROVIDE A NEW TYPEWRITTEN PANEL SCHEDULE IN ALL NEW PANELS AND UPDATE THE DIRECTORY WITH ANY CIRCUIT MODIFICATIONS. BREAKERS SHALL BE LABELED TO IDENTIFY THE LOCATION AND TYPE OF DEVICES/EQUIPMENT/ETC. SERVED BY THE RESPECTIVE BREAKER. LABEL ALL PANELBOARDS/DISTRIBUTION INDICATING LOCATION OF BREAKER SERVING PANEL IN ACCORDANCE WITH NEC.
14. ALL FITTINGS 1/4 AND LARGER SHALL BE DESIGNED SERVED AFTER INSTALLATION.
15. UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER AND 1/2 AND SMALLER WITH THHN/THWN, 600 VOLT INSULATION.
16. PROVIDE A DEDICATED NEUTRAL, COLOR CODED, FOR EACH UNGROUNDED CONDUCTOR. SHARING OF NEUTRALS IS PROHIBITED.
17. DO NOT INSTALL MORE THAN THREE CIRCUITS (OR CURRENT CARRYING CONDUCTORS) IN A CONDUIT.
18. THE MINIMUM CONDUIT SIZE SHALL BE 1/2", UNLESS CONDUITS SMALLER IS USE; MICROTRENCHING CONDUIT AND CONCRETE ENCASED CONDUIT SHALL BE SCHEDULE 40 PVC. EXTERIOR EXPOSED CONDUIT SHALL BE SCHEDULE 80 PVC, UNLESS NOTED OTHERWISE.
19. NEC CABLE TYPE BE USED FOR CONSTRUCTION BRANCH CIRCUIT WIRING IN INTERIOR DRY LOCATIONS.
20. A GREEN, COPPER GROUND WIRE SHALL BE INSTALLED IN ALL CONDUIT SYSTEMS AND SHALL BE BONDED TO ALL ENCLOSURES, BOXES, AND EQUIPMENT.
21. PLASTIC BUSHINGS SHALL BE USED TO BOND CONDUIT TO ENCLOSURES, BOXES, AND EQUIPMENT WHERE KNOCKOUTS ARE USED.
22. ALL DIMENSIONS ARE REFERENCED TO THE CENTER OF THE DEVICE.
23. THE CONTRACTOR SHALL PROVIDE PRECAUTIONS IN ALL BOXES PENETRATIONS FOR DETAILS. ELECTRICAL BOXES INSTALLED ON OPPOSITE SIDES OF A FIRE WALL SHALL HAVE A BOX FOR BARRIER INTERRUPTION.
24. THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY POWER AND LIGHT, COORDINATE TO USE 150-WATT INCANDESCENT LAMP PER 300 SQ. FT.
25. THE CONTRACTOR SHALL GUARANTEE ALL WORK TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION.

THE ALARM SYSTEM NOTES:
1. FURNISH AND INSTALL A COMPLETE INDEPENDABLE FIRE DETECTION AND EVACUATION SYSTEM AS INDICATED HEREIN AND AS SHOWN ON THE PLANS, TO BE WIRED, CONNECTED, TESTED, AND LEFT IN FIRST-CLASS OPERATING CONDITION. THE SYSTEM SHALL BE ACCESSIBLE, WARNING SIGNAL CIRCUITS WITH REQUIRED SUPERVISION. ALL EQUIPMENT SHALL BE NEW, LISTED AND LABELED, UNLESS SPECIFICALLY OTHERWISE. ALL DETECTORS SHALL BE ACCESSIBLE, WARNING SIGNAL CIRCUITS WITH REQUIRED SUPERVISION. ALL EQUIPMENT SHALL BE NEW, LISTED AND LABELED, UNLESS SPECIFICALLY OTHERWISE. THE CONTRACTOR SHALL INSTALL EQUIPMENT AND DEVICES, THE CODE, INSTALLATION SHALL CONFORM TO THE APPLICABLE SECTIONS OF NFPA 70, NATIONAL FIRE ALARM CODE, NFPA 90A, LIFE SAFETY CODE, NFPA 70, NATIONAL ELECTRICAL CODE, THE AMERICANS WITH DISABILITIES ACT, AND LOCAL AUTHORITY HAVING JURISDICTION TO FULFILL THE COMPLETE FUNCTIONALITY REQUIREMENTS AS SET FORTH IN THESE SPECIFICATIONS.
2. CONFIRMING AND INSTALL REQUIRED AUXILIARY ALARM FUNCTIONS SHOWN THEREON ON THE PLANS, COMPLETE WITH MONITORING OF SPRINKLER SYSTEMS AND HVAC SHUTDOWN.
3. ADDRESSABLE FIRE ALARM CONTROL PANEL - SIMPLEX MODEL 4010 ON EQUAL, WITH A MINIMUM OF 250 ADDRESS POINTS, CAPABLE OF SUPPORTING ALARM INITIATING APPLIANCES AND ALARM INDICATING APPLIANCES AS REQUIRED ON THE PLANS. THE CONTROL PANEL SHALL BE PROGRAMMABLE VIA THE FRONT PANEL FOR INPUT/OUTPUT FUNCTIONS AND SHALL CONTAIN A MEMORY, FOUR LINE, 80 CHARACTER LCD DISPLAY, AND A SYSTEM WALL TEST OPTION.
4. CONTROL PANEL REMOTE REPORTING - A CELLULAR COMMUNICATION SHALL BE PROVIDED AND PROGRAMMED FOR REMOTE MONITORING. A ANNUNCIATOR PROVIDING CELLULAR COMMUNICATIONS, PROVIDE AN ANCILLARY MANNED DIGITAL ALARM COMMUNICATOR TRANSMITTER (DACT), CAPABLE OF BEING PROGRAMMED FOR COMMUNICATIONS WITH A MINIMUM OF TWO REDUNDANT TELEPHONE CIRCUITS AND THEN PROGRAMMABLE LOCAL AC POWER FAIL THE DELAY REPORTING, 24 HOUR OPERATING VOLTAGE AND BATTERY BACKUP SHALL BE PROVIDED BY THE ALARM CONTROL PANEL. THE CONTRACTOR SHALL REPORT TO MANUFACTURER'S, AS LISTED, CONTROL STATION MONITORING FACILITY.
5. PROVIDE BATTERY CALCULATIONS TO SHOW THAT THE PROPER QUANTITY OF BATTERIES ARE SUPPLIED THAT UPON LOSS OF 120 VAC POWER WILL PROVIDE A MINIMUM OF 24 HOURS OF NORMAL SUPERVISORY MODE FOLLOWED BY 5 MINUTES OF ALARM MODE.
6. PROVIDE INDIVIDUALLY CONTAINING COMPLETE DESCRIPTIVE DATA AND CODED DRAWING INCLUDING CONDUIT LAYOUT, WIRE COUNT, AND DEVICE LOCATIONS.
7. SYSTEM SHALL BE FULLY TESTED BY A NICET CERTIFIED TECHNICIAN IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE AND BE WARRANTED FOR ONE YEAR.
8. THE FIRE ALARM CONTRACTOR MUST BE CERTIFIED IN ACCORDANCE WITH THE TERRITORY ALARM CONTRACTORS LICENSING ACT OF 1985, TCA TITLE 62, AND CHAPTER 20 (CALL 615-741-6771 FOR ADDITIONAL INFORMATION)
9. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE FIRE ALARM DESIGN IS ACCEPTABLE TO THE LOCAL FIRE DEPTHS, WHERE JURISDICTION, ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY FOR AN OPERATING AND FULLY FUNCTIONAL SYSTEM IS INCLUDED IN THIS CONTRACT.
10. ALL REQUIRED DOCUMENTATION REGARDING THE DESIGN OF FIRE DETECTION, ALARM, AND COMMUNICATIONS SYSTEMS AND THE PROCEDURES FOR MAINTENANCE, INSPECTION, AND REPORTING OF THE FIRE DETECTION, ALARM, AND COMMUNICATIONS SYSTEMS SHALL BE PROVIDED IN AN APPROVED, BOUND LOCATION FOR THE USE OF THE OWNER.
11. THE FIRE ALARM CONTROL PANEL CIRCUIT INTERCONNECTING WIRING SHALL HAVE A RED BANDING, SHALL BE ACCESSIBLE ONLY TO AUTHORIZED PERSONNEL, AND SHALL BE IDENTIFIED AS "FIRE ALARM CIRCUIT." THE LOCATION OF THE CIRCUIT INTERCONNECTING WIRING SHALL BE PERMANENTLY IDENTIFIED AT THE FIRE ALARM CONTROL UNIT.
12. PRIMARY PROTECTION SHALL BE PROVIDED BY ALL COPPER LINES ENTERING OR LEAVING THE BUILDING/STRUCTURE.
13. FOR FIRE ALARM SYSTEM CIRCUITS INSTALLED IN CONDUIT ELECTRICAL CONNECTION TO PERMANENT AND INSTALL EXCEPT PROVIDED WITH ONE CONDUIT, FITTINGS AND BOXES.
14. ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL REQUIRED CAN PROVIDE CONNECTIONS TO ALL FIRE ALARM CONTROL PANELS, DEVICES PANELS, AND COMPUTER PANELS, ETC. AS REQUIRED IN ACCORDANCE WITH SCHEDULE SHOP DRAWINGS.
15. THE SPRINKLER MONITORING PANEL CIRCUIT INTERCONNECTING WIRING SHALL HAVE A RED BANDING, SHALL BE ACCESSIBLE ONLY TO AUTHORIZED PERSONNEL, AND SHALL BE IDENTIFIED AS "FIRE ALARM CIRCUIT." THE LOCATION OF THE CIRCUIT INTERCONNECTING WIRING SHALL BE PERMANENTLY IDENTIFIED AT THE FIRE ALARM CONTROL UNIT.

LIGHTING NOTES:
1. CONTRACTOR SHALL FURNISH AND INSTALL LIGHT SWITCHES/CONTROLS FOR ALL LIGHTING AT LOCATIONS AS SHOWN ON THE DRAWINGS.
2. CONFIRM EXACT LIGHT FIXTURE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN.
3. CONNECT ALL EXIT AND EMERGENCY LIGHTS TO UNSWITCHED LIGHTING CIRCUITS. LIGHTS SHALL OPERATE AUTOMATICALLY UPON LOSS OF POWER.
4. PRIOR TO ORDERING THE SPECIFIED LIGHT FIXTURES, THE CONTRACTOR SHALL VERIFY THE FIXTURE IS SUITABLE FOR THE CEILING TYPE, FOR EXAMPLE, A FIXTURE INTENDED FOR INSTALLATION IN A FIRE RATED ASSEMBLY, IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER PRIOR TO PROCEEDING.

POWER NOTES:
1. CONTRACTOR SHALL FURNISH AND INSTALL FIXED RECEPTACLES FOR ALL BASIC EQUIPMENT WITH FIXED AS PER MANUFACTURER RECOMMENDATIONS, APPROVED, POLES, AND TYPE NEMA CONFIGURATION OF RECEPTACLE DEVICES AS REQUIRED FURNISH AND INSTALL A REACHPROOF, GFCI DUPLEX RECEPTACLE (SUITABLE BOXES) IN FRONT OF EACH BASIC PIECE OF EQUIPMENT.
2. REMOVE ALL DEVICES AND OTHER ELECTRICAL EQUIPMENT IN COMPLIANCE WITH APPLICABLE PROVISIONS OF THE APPLICABLE ACCESSIBILITY CODE.
3. ALL RECEPTACLE, CHANGER, CHANGER TOP, AND MOUNT TOP HVAC SERVICE RECEPTACLES SHALL BE GFCI.
4. ALL CHANGER RECEPTACLES SHALL HAVE APPROVED RECEPTACLE CONTACTS AS PER DES 6062.2(B)
5. ALL DAMP AND WET LOCATION DEVICES SHALL BE REACHPROOF DESIGNATE.

LIGHTING FIXTURE SCHEDULE

SYM	CATALOG NUMBER			PERFORMANCE			MOUNTING	DESCRIPTION
	COMPANY	MODEL NUMBER	WATTS	TEMP MIN IN H. CRI	DELIVERED LUMENS			
GEA	LITHONIA	EGR LED M3	3.8	N/A	316	N/A	UNIVERSAL	[illegible]
EE	C W COLE	[illegible]	1.5	N/A	N/A	N/A	UNIVERSAL	[illegible]
EM	LITHONIA	ELM4L	7	N/A	N/A	840	UNIVERSAL	[illegible]
EMG	CONSERVLITE	PS-LED S 960-30-NB	14	N/A	N/A	730	UNIVERSAL	[illegible]
ED	HUBLE	MANDALED EM-17-EM	11	5000	N/A	870	WALL MOUNT	[illegible]
EP	LITHONIA	[illegible]	15	4000	73	830	WALL MOUNT	[illegible]
A	SP LIGHTING	[illegible]	43	3000	80	4270	PENDANT, SFT AFF	[illegible]
B	LITE CONTROL	[illegible]	60	3000	80	8300	PENDANT, SFT AFF	[illegible]
BE	LITE CONTROL	[illegible]	60	3000	80	8700	PENDANT, SFT AFF	[illegible]
B1	LITE CONTROL	[illegible]	34	3000	80	4500	PENDANT, SFT AFF	[illegible]
B1E	LITE CONTROL	[illegible]	34	3000	80	4300	PENDANT, SFT AFF	[illegible]
B2	LITE CONTROL	[illegible]	40	3000	80	8000	SURFACE	[illegible]
C	ALPHABEET	[illegible]	49	3000	80	5410	RECESSED	[illegible]
CE	ALPHABEET	[illegible]	49	3000	80	5410	RECESSED	[illegible]
C1	ALPHABEET	[illegible]	56	3000	80	4000	RECESSED	[illegible]
C1E	ALPHABEET	[illegible]	56	3000	80	4000	RECESSED	[illegible]
C2	ALPHABEET	[illegible]	22	3000	80	1730	RECESSED	[illegible]
E	EXISTING	[illegible]	150	2700	80			[illegible]
E	[illegible]	[illegible]	36	3000	80	5490	SURFACE OR CHAIN HANG	[illegible]
F	HEATSTAR	[illegible]	50	3000	80	5100	SURFACE CORNER MOUNT	[illegible]
G	ALPHABEET	[illegible]	15	3000	80	1130	RECESSED	[illegible]
G2	ALPHABEET	[illegible]	15	3000	80	1130	RECESSED	[illegible]
H	TBD	TBD	20	3000	80	1900	SURFACE, 8' ABOVE HARPER	[illegible]
I	TBD	TBD	30	3000	80	2700	WALL UP HEIGHT	[illegible]
K	LITE CONTROL	[illegible]	7.3 W/FT	3000	80	50W/FT	SURFACE, WALL	[illegible]
L	LITHONIA	[illegible]	13	3000	80	1400	SURFACE	[illegible]
L1	LITHONIA	[illegible]	18	3000	80	2100	SURFACE	[illegible]

NOTES:
1. THE FINISH OF ALL FIXTURES INSTALLED BY THE MODEL NUMBERS SHALL BE VERIFIED WITH AND APPROVED BY THE ARCHITECT
2. REFER TO THE ARCHITECT'S REFLECTED CEILING PLAN FOR THE EXACT LOCATION OF FIXTURES
3. ALL FIXTURES SHALL BE FURNISHED COMPLETE WITH ELECTRONIC BALLASTS WITH MINIMUM 10% THD
4. ALL FIXTURES IN KITCHEN OR FOOD PREP AREAS SHALL BE LENSED OR HAVE SHATTER PROOF LAMPS
5. PROVIDE TEMPERATURE RATED COVERS FOR ALL RECESSED FIXTURES WITH RATED CEILINGS

BREWER INGRAM FULLER Architects Inc.

Loudon County Courthouse

RENOVATION PHASE 2

FACILITY SYSTEMS CONSULTANTS, LLC

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

THESE DRAWINGS ARE INTENDED TO ILLUSTRATE GENERALLY THE PROPOSED SCOPE AND QUALITY OF THE PROJECT AND TO ASSIST IN OBTAINING A PRELIMINARY ESTIMATE OF CONSTRUCTION COST. THESE DOCUMENTS ARE NOT INTENDED FOR CONSTRUCTION FOR ARE THEY INTENDED TO BE COMPLETE OR FULLY DETAILED. THEY CONTAIN A LEVEL OF INCONSISTENCY COMMON TO PROGRESS DRAWINGS AT THE DESIGN DEVELOPMENT STAGE. THE FINAL CONSTRUCTION DOCUMENTS WILL MODIFY SOME OF THE INFORMATION CONTAINED HEREIN BASED ON ARCHITECTURAL REQUIREMENTS, DEVELOPMENT OF BUILDING SYSTEMS, OWNER CHANGES, AND COORDINATION OF INFORMATION

ELECTRICAL LEGEND AND SCHEDULE

PRELIMINARY - NOT FOR CONSTRUCTION

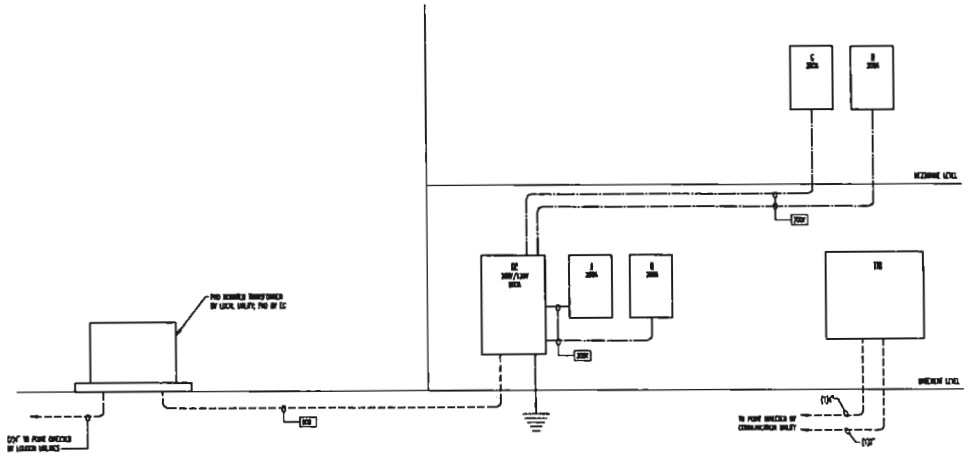
10/28/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
BIM PROJECT NUMBER

E0.0

BREWER INGRAM FULLER Architects Inc.

Loudon County Courthouse

RENOVATION PHASE 2



RISER DIAGRAM

SCALE: N.T.S.

600 (3) 3 1/0 THWN THW 4"CONDUIT

200W (2) #4 THWN

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RISER DIAGRAM AND PANELBOARDS

PRELIMINARY - NOT FOR CONSTRUCTION

FACILITY SYSTEMS CONSULTANTS, LLC

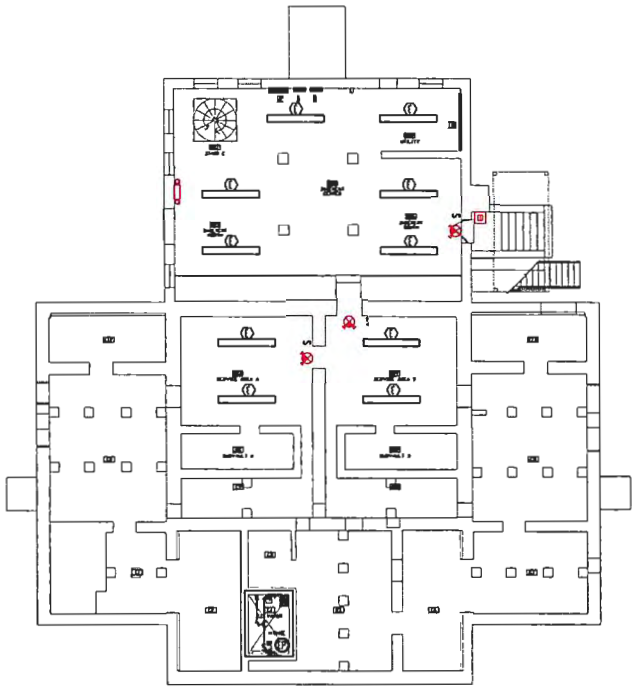
10/28/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
JOH, PROJECT MANAGER

E0.1

BREWER INGRAM FULLER *Architects Inc.*

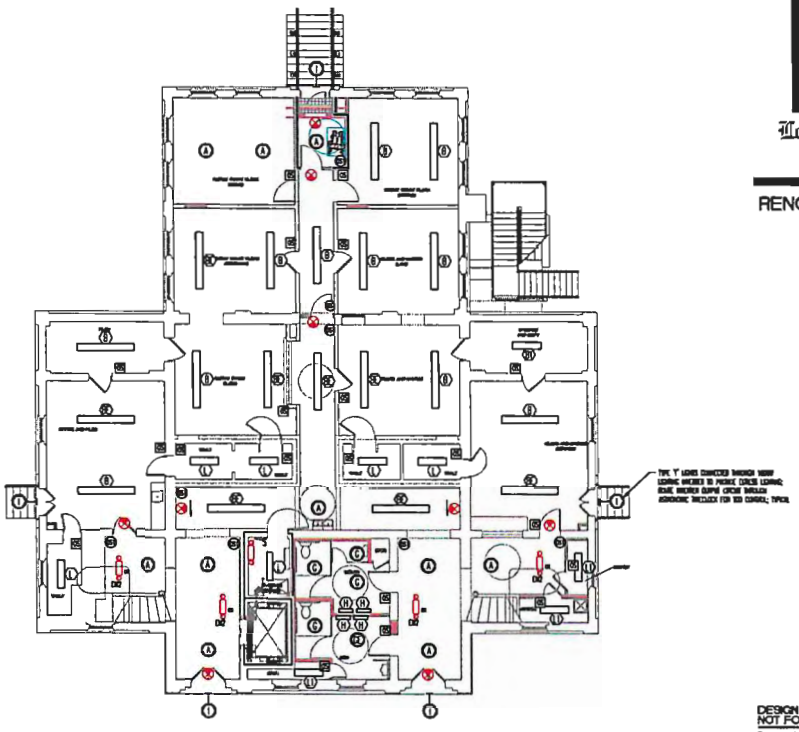
Loudon County Courthouse

RENOVATION PHASE 2



BASEMENT LEVEL LIGHTING PLAN

SCALE: 1/8"=1'-0"



FIRST LEVEL LIGHTING PLAN

SCALE: 1/8"=1'-0"

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BASEMENT AND FIRST LEVEL LIGHTING PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

FACILITY SYSTEMS CONSULTANTS, LLC

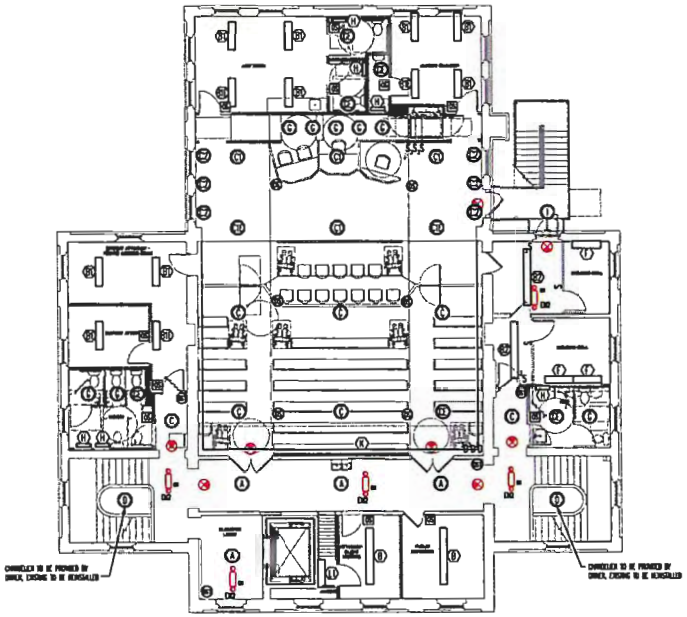
9/28/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
JOH PROJECT PLANNER

E1.0

BREWER INGRAM FULLER Architects Inc.

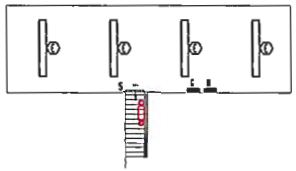
Loudon County Courthouse

RENOVATION PHASE 2



SECOND LEVEL LIGHTING PLAN

SCALE: 1/8"=1'-0"



PARTIAL PLATFORM LIGHTING PLAN

SCALE: 1/8"=1'-0"

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SECOND LEVEL LIGHTING PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

FACILITY SYSTEMS CONSULTANTS, LLC

10/28/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
SOM PROJECT NUMBER

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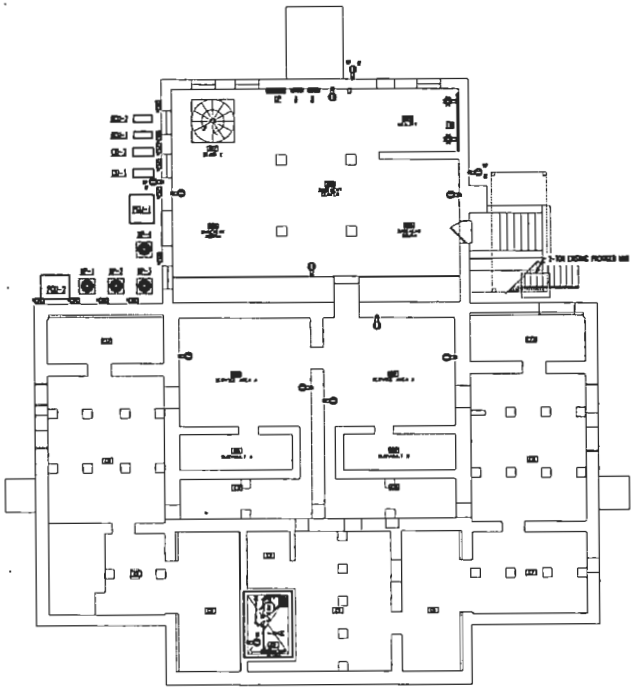
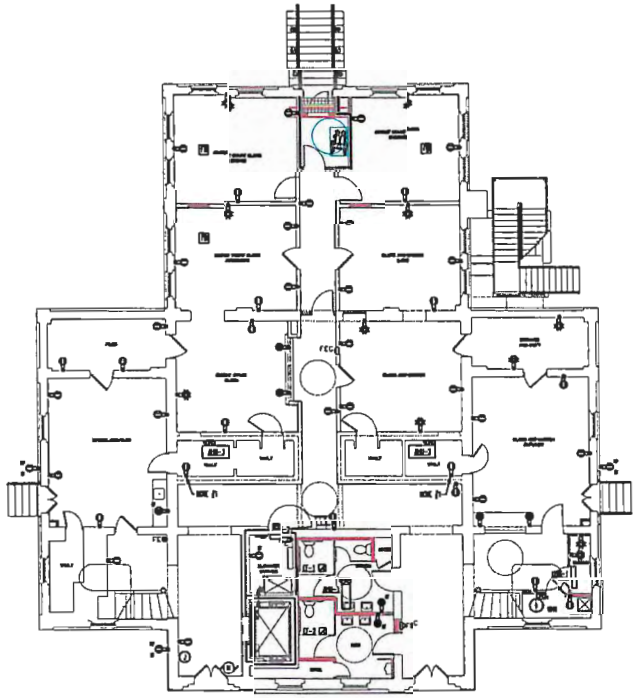
Loudon County Courthouse

RENOVATION PHASE 2



BASEMENT LEVEL POWER PLAN

SCALE: 1/8"=1'-0"



FIRST LEVEL POWER PLAN

SCALE: 1/8"=1'-0"

DESIGN DEVELOPMENT DOCUMENTS NOT FOR CONSTRUCTION

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BASEMENT AND FIRST LEVEL POWER PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

FACILITY SYSTEMS CONSULTANTS, LLC

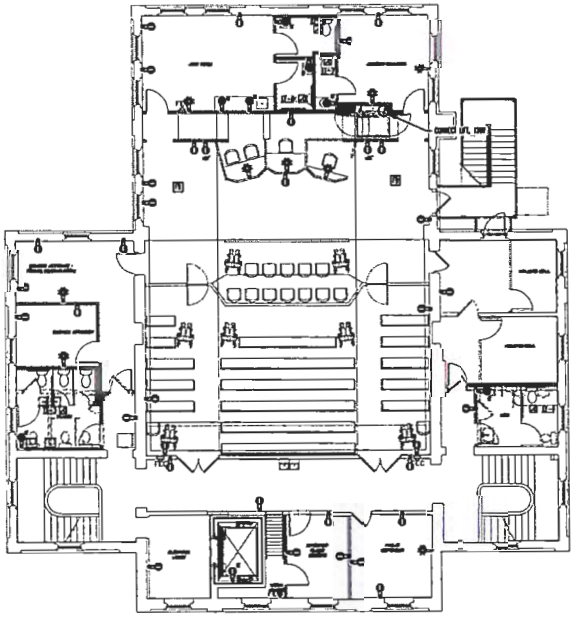
9/28/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
BIA PROJECT NUMBER

E2.0

BREWER INGRAM FULLER Architects Inc.

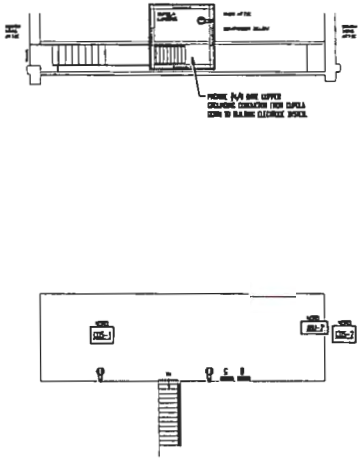
Loudon County Courthouse

RENOVATION PHASE 2



SECOND LEVEL POWER PLAN

SCALE: 1/8"=1'-0"



PARTIAL PLATFORM POWER PLAN

SCALE: 1/8"=1'-0"

GENERAL NOTES:

1. ALL DEVICES SHOWN ON BRICK WALL IN FRENCH SPACES ON LEVELS 1 AND 2 SHALL BE CONCEALED IN BRICKWORK BACKING. SEE ARCHITECTURAL DRAWINGS FOR BACKING DETAIL.
2. INCLUDE CONDUIT ALLOWANCE FOR A/V COMPONENTS, CABLING, AND ROUGH-INS FOR COMPUTERS.

DESIGN DEVELOPMENT DOCUMENTS
NOT FOR CONSTRUCTION

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SECOND LEVEL POWER PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

FACILITY SYSTEMS CONSULTANTS, LLC

12/28/2022
DESIGN DEVELOPMENT
PROGRESS PRINT FOR REVIEW
FSC PROJECT NUMBER

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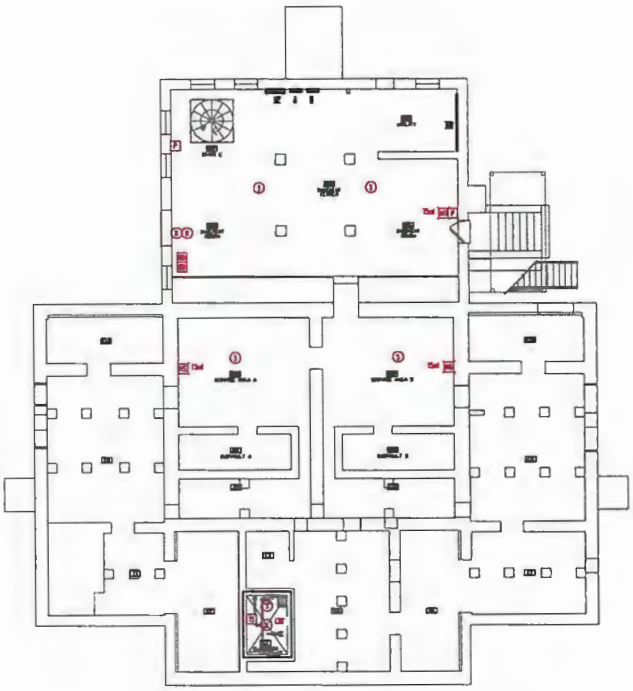
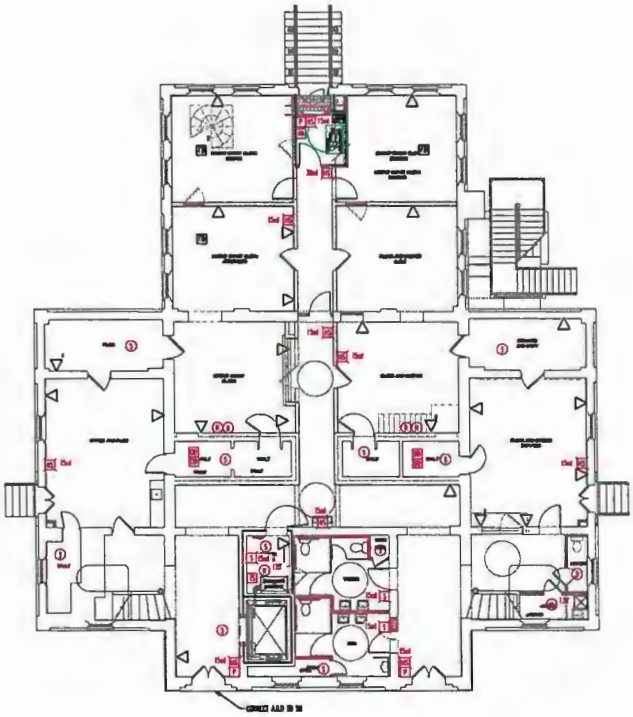


BASEMENT LEVEL COMMUNICATION AND FIRE ALARM PLAN

SCALE: 1/8"=1'-0"



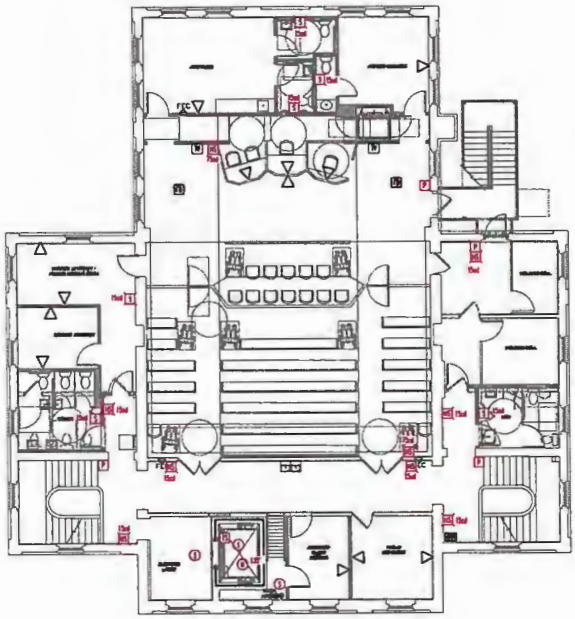
FIRST LEVEL COMMUNICATION AND FIRE ALARM PLAN

SCALE: 1/8"=1'-0"

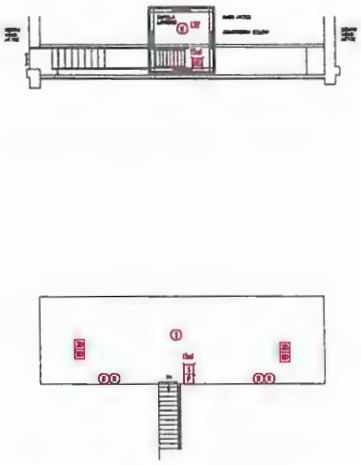
GENERAL NOTES:

1. ALL COMMUNICATION DEVICES SHOWN ON BRICK WALL IN FINISHED SPACES ON LEVEL 1 AND 2 SHALL BE CONCEALED IN UNDERGROUND CONDUIT. SEE ARCHITECTURAL DRAWINGS FOR ENCLOSURE DETAIL.

FACILITY SYSTEMS CONSULTANTS, LLC



SECOND LEVEL COMMUNICATION AND FIRE ALARM PLAN



PARTIAL PLATFORM COMMUNICATION AND FIRE ALARM PLAN

GENERAL NOTES:

1. ALL COMMUNICATION DEVICES SHOWN ON WALL IN FINISHED SPACES ON LEVEL 1 AND 2 SHALL BE CONCEALED IN BACKBOXES BEHIND. SEE ARCHITECTURAL DRAWINGS FOR ACCURATE DETAIL.

FACILITY SYSTEMS CONSULTANTS, LLC

JOHNSON GALYON

February 28, 2023

Mr. Matt Kleinschmidt
Loudon County Government
100 River Road, Suite 110
Loudon, TN 37774

Re: Loudon County Courthouse Renovation Phase 2
Design Development Budget Estimate

Mr. Kleinschmidt,

Johnson & Galyon, Inc. has completed review of the Phase 2 Design Development documents by Brewer Ingram Fuller Architects dated October 28, 2022. As part of our review and budgeting process, subcontractors, and vendors with the expertise of providing certain portions of the work required by the documents have been consulted. Combining our own cost estimates with those of our preferred subcontractor team members, a budget estimate has been prepared for work associated with Phase 2 Renovations of the Courthouse – Interior Finishes and Select Site Work. Hazardous material and/or mold remediation work is not included.

The preliminary Design Development budget estimate for the Phase 2 Renovations of the Courthouse is Four million seven hundred seventy-six thousand and ninety-four dollars ($4,776,094.00).

General Liability, Builder's Risk Insurance, and Payment and Performance Bonding are included in the budget. If one or the other is not required by the county, we are happy to eliminate these costs from our estimate. Approximate deduct amounts are identified in both the attached cost breakdown and our clarifications. (Builder's Risk is included as an allowance pending final review of our underwriter.) Please note that Loudon County must carry Property Insurance to insure the existing structure. Loudon's property insurance policy on the existing structure should have a waiver of subrogation in favor of Johnson & Galyon and all subcontractors.

It is our understanding that a new AIA A103-2017 Standard Form of Agreement Between Owner and Contractor where the basis of the payment is the Cost of the Work plus a Fee of 8% without a Guaranteed Maximum Price Contract will be executed for this Phase. It is assumed that the terms and conditions of our previous Contract will be incorporated. A Contractor Contingency is not included but it is recommended that an Owner Contingency be contemplated. Johnson &

Galyon recommends an Owner Contingency of 10% of the estimated cost for a project of this nature.

Please find attached the cost estimate and clarifications for your review.

As always, we appreciate the opportunity to be of assistance. If you have questions or concerns, please do not hesitate to call.

Sincerely,
Johnson & Galyon, Inc.

Peter Dunn

Peter Dunn
Director of Preconstruction/Senior Estimator

Attachments

Loudon County Courthouse Renovation Phase 2

Tuesday, February 28, 2023
601 Grove Street
Loudon, Tennessee 37774

Notes Concerning the Estimate

1) The estimate is based on the following pricing documents:

		Date	Author
1.01)	Loudon County Courthouse Phase 2 Renovations Drawings Design Development	10/28/2023	BIF

2) Clarifications are as follows:

2.01) Budget cost for our standard General Liability and an Allowance of $35,000.00 for Builder's Risk insurances are included. Actual costs will be billed based on completed value of the work and the underwriter's complete review. Deductibles, if incurred, will be considered a cost of the work.

2.02) Budget cost for plans review and permitting are included.

2.03) Payment and Performance bond budget costs are included.

2.04) We do not include IT, Low Voltage, Data, Communications, Access Control, Security, and/or CCTV scope.

2.05) Our budget assumes normal weekday working hours.

2.06) We have assumed that Loudon County will provide parking spaces at or near the project site at no cost to construction team personnel.

2.07) We do not include cost for offsite storage of salvageable materials. Offsite storage facilities will be provided by Loudon County.

2.08) Johnson & Galyon cannot guarantee against additional damage to the courthouse during the course of the work. The building structure is compromised due to fire damage. Loads may shift during the course of the work and further damage may occur. Johnson and Galyon will perform work required in the permit documents in a professional manner but cannot warrant against further damage resulting from latent conditions.

2.09) Hazardous material abatement, asbestos and mold remediation and/or specialized use land fill cost are excluded from our scope of work.

2.10) We have included an allowance for arborist services and tree protection in our proposal. Actual cost will be billed against the allowance.

2.11) We exclude remediation of unsuitable soils and/or rock in excavation processes. If required, the most efficient means of remediation will be determined, approved by the Owner, and completed work billed on an actual cost basis.

2.12) CONTINGENCY - refer to Cover Letter

This budget estimate does not include any Contingency Funds. As this proposal is valid for only 30 days, Loudon County should contemplate adding a contingency to address potential cost increases that may occur between the date of this proposal and such time a Contract is executed if such occurs later than 30 days.

2.13) NO allowance is included for additional Exterior Masonry Restoration.

2.14) Existing wood base, door casing/trims, wood stair components, and other in-place trims that are to remain will be cleaned, lightly sanded to remove loose paint, and re-painted. Extensive restoration is not included.

2.15) Existing wood base, door casing/trims, wood doors, and other items that were salvaged will be cleaned, lightly sanded to remove loose paint, and re-painted. Extensive restoration is not included.

2.16) Geotechinical and concrete testing is NOT included.

2.17) Costs for temporary electrical for building, job trailer, and construction needs are included while J&G is on site.

2.18) The remaining existing subfloor boards shall be removed and replaced with 3/4" floor sheathing.

2.19) Leveling of the floor is not included. New joists shall be installed in plane with existing.

2.20) J&G offers no opinion as to the adequacy of this scope of work to address the stability/integrity of the overall structure, building code related requirements, and/or Loudon County future use requirements.

2.21) 12 months of General Conditions are included to complete this Phase of Work. We have planned for an uninterrupted, single phase construction schedule based on standard weekday working hours.

3) Allowances included in the estimate for major cost items are summarized as follows:
Any allowance overages will be billed at actual cost plus 10%.

3.1)	Arborist services, tree protection, tree trimming allowance	$10,000.00
3.2)	Interior Signage	$10,000.00
3.3)	Safe Door Repair/Refurbish	$250,000.00
3.4)	Builder's Risk Policy	$35,000.00
3.5)	Soil and Concrete Testing	excluded
3.6)	Exterior Masonry Restoration	excluded
3.7)	Courtroom Bench Pew Seating	$50,000.00
3.8)	Judge, Clerk, Witness, Jury Chairs	$10,000.00
3.9)	Plaster Repair	$202,170.00

4) We have priced (Preliminary) the following alternates:

4.1)	Remove Builder's Risk from J&G's scope of work	Deduct	-$35,000.00
4.2)	Eliminate Payment and Performance bond from J&G scope	Deduct	-$29,000.00
4.3)	Remove Spiral Stair/Enclose Floor Opening	Add	$2,385.00
4.4)	Infill Openings 125B and 126B in lieu of new doors	Deduct	-$8,025.00
4.5)	Infill Openings in Room 125	Add	$725.00
4.6)	Add Opening 120 in Corridor	Add	$16,802.00
4.7)	Remove Brick at existing arched opening at Room 123	Add	$4,125.00
4.8)	Add Transaction Counter at 117	Add	$24,310.00
4.9)	Add Transaction Counter at 119	Add	$22,243.00
4.10)	Add Counter with Sink at 111	Add	$13,041.00
4.11)	Add Door 212B	Add	$13,469.00
4.12)	Add Door 215B to Exterior Stair	Add	$18,819.00
4.13)	Add Holding Cells	Add	$41,589.00
4.14)	6 ea new 25' Flagpoles, Base, Eagle Finial	Add	$52,772.00
4.15)	Add Fire Protection Sprinkler System (LUB fees and line to property line is not included)	Add	$296,000.00
4.16)	Construct Area of Refuge	Add	$31,019.00
4.17)	Add Automatic Opener to Door Pair 103	Add	$3,000.00
4.18)	Add Guards & Handrails at East Exit and Basement Steps	Add	$13,750.00
4.19)	Modify Exterior Stair Tower	Add	$41,580.00
4.20)	Include Accessibility Provisions at Judge/Clerk/Witness Box	Add	$15,000.00
4.21)	Add Ship Ladder from Level 2 to Mech Equip Platform	Add	$7,700.00

Design Development Estimate Notes

This Design Development Estimate is preliminary in nature and must be updated upon receipt of "For Construction" documents.

Phase	Group	Description	Grand Total	Sub/Vendor/Notes
	01000	GENERAL CONDITIONS		
01312		SUPERVISION	163,275	
01320		CONSTRUCTION DOCUMENTS	2,500	
01335		TESTING - BY OWNER		
01403		TEMP BARRICADES & TEMP PROTECTION	4,331	
01510		TEMPORARY UTILITIES	66,780	
01520		CONSTRUCTION FACILITIES	12,600	
01600		SAFETY	18,598	
01720		LAYOUT	12,800	
01740		CLEAN UP	73,800	
		GENERAL CONDITIONS	354,684	
	02000	SITEWORK		
02010		SITE EQUIPMENT	70,764	
02220		ARBORIST SERVICES - TREE TRIMMING & PROTECTION	10,000	
02225		DEMOLITION	36,584	
02226		ABATEMENT SERVICES - BY OWNER		
02315		EXCAVATION & FILL	67,550	
02370		EROSION CONTROL	2,400	
02775		SITE CONCRETE	81,150	
02810		LAWN IRRIGATION - NOT INCLUDED		
02905		LANDSCAPING ALLOWANCE	15,000	
02920		SEEDING	10,750	
		SITEWORK	294,198	
	03000	CONCRETE		
03310		CAST IN PLACE CONCRETE	1,300	
		CONCRETE	1,300	
	04000	MASONRY		
04910		MASONRY WORK	24,000	
		MASONRY	24,000	
	05000	METALS		
05120		STRUCTURAL STEEL	81,300	
		METALS	81,300	
	06000	WOOD & PLASTICS		
06105		ROUGH CARPENTRY- Framing	94,200	
06160		SHEATHING	34,000	
06181		ROUGH HARDWARE	7,500	
06220		FINISH CARPENTRY	551,155	
		WOOD & PLASTICS	686,855	
	07000	THERMAL/MOISTURE PROTECT		
07210		BUILDING INSULATION	6,400	
07450		GFRC PANELS		
07620		SHEET METAL FLASHING/TRIM	1,400	
07920		JOINT SEALANTS	10,000	
		THERMAL/MOISTURE PROTECT	17,800	
	08000	DOORS & WINDOWS		
08010		DOORS, FRAMES, HARDWARE	191,215	
08310		ACCESS DOORS	5,950	
08810		GLASS & GLAZING	1,500	
		DOORS & WINDOWS	198,665	
	09000	FINISHES		
09210		PLASTER ALLOWANCE	202,170	

Phase	Group	Description	Grand Total	Sub/Vendor/Notes
09250		DRYWALL AND ACOUSTICAL CEILINGS	248,763	
09310		CERAMIC TILE	41,881	
09620		CLEAN CONCRETE SLABS	1,085	
09640		WOOD FLOORING	157,850	
09680		CARPET	9,165	
09910		PAINTING	245,786	
		FINISHES	*906,700*	
	10000	*SPECIALTIES*		
10160		TOILET PARTITIONS	21,100	
10440		INTERIOR SIGNAGE ALLOWANCE	10,000	
10520		FIRE EXTINGUISHERS	4,532	
10810		TOILET ACCESSORIES	13,672	
		SPECIALTIES	*49,304*	
	11000	*EQUIPMENT*		
11020		SAFE DOOR REPAIR ALLOWANCE	250,000	
		EQUIPMENT	*250,000*	
	12000	*FURNISHINGS*		
12520		COURTROOM BENCH PEW SEATING ALLOWANCE	50,000	
12610		PERSONNEL SEATING ALLOWANCE	10,000	
		FURNISHINGS	*60,000*	
	14000	*CONVEYING SYSTEMS*		
14240		ELEVATOR	98,088	
		CONVEYING SYSTEMS	*98,088*	
	15000	*MECHANICAL*		
15050		HVAC & PLUMBING	594,323	
15300		FIRE SPRINKLER SYSTEM - SEE ALTERNATE		
		MECHANICAL	*594,323*	
	16000	*ELECTRICAL*		
16010		ELECTRICAL	536,000	
		ELECTRICAL	*536,000*	

Estimate Totals

Description	Amount	Totals	Rate	Cost Basis	Cost per Unit
Labor	294,660				20.344 /SQFT
Material	775,898				53.569 /SQFT
Subcontract	3,013,456				208.054 /SQFT
Equipment	69,204				4.778 /SQFT
Other					
	4,153,218	4,153,218			286.745 /SQFT
Labor Burden - 37.00	109,024		37.000 %	C	7.527 /SQFT
SalesTax - 9.50%	73,710		9.500 %	C	5.089 /SQFT
	182,734	4,335,952			299.362 /SQFT
Plans Review Fee - By LCC				L	
Permit Fees	12,805			B	0.884 /SQFT
	12,805	4,348,757			300.246 /SQFT
Bldrs Risk Allowance	35,000			L	2.416 /SQFT
General Liability	9,552		0.200 %	T	0.659 /SQFT
	44,552	4,393,309			303.322 /SQFT
P&P Bond	29,000			L	2.002 /SQFT
	29,000	4,422,309			305.324 /SQFT
Contingency - none included				T	
Fee	353,785		8.000 %	T	24.426 /SQFT
Total		***4,776,094***			***329.750 /SQFT***

Percent of Total	
6.17%	
16.25%	
63.09%	
1.45%	
86.96%	86.96%
2.28%	
1.54%	
3.83%	90.78%
0.27%	
0.27%	91.05%
0.73%	
0.20%	
0.93%	91.99%
0.61%	
0.61%	92.59%
7.41%	